SITE DEVELOPMENT PLANS

FOR

LAWRENCEVILLE CHICK-FIL-A

TAX MAP NO. 3
2950 US HIGHWAY 1
LAWRENCEVILLE, MERCER COUNTY, NJ 08648

200' PROPERTY OWNERS LIST

Property Owners List within 200' of Block 3601, Lot 1.01 for **Chick-Fil-A** — February 28, 2023

Block	Lot	Owner	Street	Town/State	Zip
3507	1, 84	BSA OIL CORP	P O BOX 5312	TRENTON, NJ	08638
	2.01	SAYBROOK HOLDING C/O MULTI MGNMENT	2205 COMMERCE ROAD, SUITE A	FOREST HILL, MD	21050
	6.01	LONG'S OWN ONE, LLC	2931 BRUNSWICK PIKE	LAWRENCEVILLE, NJ	08648
	9	SCF RC FUNDING IV, LLC, C/O ESNT PROP.	902 CARNEGIE CENTER BLVD, 520	PRINCETON, N.J.	08540
	10, 11	HENRY FAULKNER, INC.	BUSTLETON & HALDEMAN AVE.	PHILADELPHIA PA	19115
3601	5.01	SODEV PARTNERS I, LLC	633 CHESTNUT STREET, #900	CHATTANOOGA TN	37450
	8	D E P DIV OF PARKS & FORESTRY	CN 404	TRENTON, NJ	08625.0404
	28	4 LITHO ROAD, LLC	4569 S. BROAD STREET	HAMILTON NJ	08620
	29	HENRY FAULKNER, INC.	BUSTLETON & HALDEMAN AVE.	PHILADELPHIA PA	19115
4001	29	KNEHR, DOUGLAS & ADRIA	4 PAUL AVE	KENDALL PARK, NJ	08824
	30	PANG, RAY & ELISE	202 BAKERS BASIN RD	LAWRENCEVILLE, NJ	08648
	31, 32, 34, 35	SUNRISE INVEST, LLC C/O GEORGE PAUK	493 CHERRY HILL RD	PRINCETON, N.J.	08540
	33	HAREFF, LLC & MUFFREY, LLC	185 NW SPANISH RIVER BLVD	BOCA RATON, FL	33431.4230

LESSEE
CHICK FIL A INC
5200 BUFFINGTON ROAD
ATLANTA, GA 30349

ENGINEER
BOWMAN CONSULTING GROUP
54 HORSEHILL ROAD, SUITE 100
CEDAR KNOLLS, NJ 07927
JAMIE GIURINTANO, PROJECT MANAGER
973.291.2921; EXT. 8421
JGIURINTANO@BOWMAN.COM

SURVEYOR
BOWMAN CONSULTING GROUP
303 W. MAIN STREET
FREEHOLD, NJ 07728
MARTIN TIRELLA, PROF. LAND SURVEYOR
(732)665-5500
NJ@BOWMAN.COM

CORPORATE SECRETARY
EWING LAWRENCE SEWERAGE AUTHORITY
600 WHITEHEAD RD.
LAWRENCEVILLE, NJ 08648

NJ AMERICAN WATER
1025 LAUREL OAK ROAD
VOORHEES, NJ 08043
ATTN: DONNA SHORT

CORPORATE SECRETARY
TRENTON WATER WORKS
PO BOX 528
TRENTON, NJ 08604

AQUA WATER COMPANY
2875 ERIAL ROAD
ERIAL, NJ 08081
ATTN: JAMES BARBATO

CORPORATE SECRETARY
TRANSCONTINENTAL GAS PIPE LINE CORP.
2800 POST OAK BOULEVARD
HOUSTON, TX 77056

RCN CORPORATION
105 CARNEGIE CENTER
PRINCETON, NJ 08540

MERCER COUNTY PLANNING BOARD
640 SOUTH BROAD STREET
PO BOX 8068
TRENTON, NJ 08650-8068

SUN PIPE LINE COMPANY
ATTN: R-O-W DEPARTMENT
1801 MARKET STREET
26TH FLOOR
PHILADELPHIA, PA 19103-1699

SUNOCO PIP LINE , L.P.
RIGHT-OF-WAY DEPARTMENT
MONTELLO COMPLEX
525 FRITZTOWN ROAD
SINKING SPRING, PA 19608

CORPORATE SECRETARY
PUBLIC SERVICE ELECTRIC AND GAS CO.
80 PARK PLAZA, 4B
NEWARK, NJ 07101

ELIZABETHTOWN GAS COMPANY
ONE ELIZABETHTOWN PLAZA
THIRD FLOOR EAST
UNION, NJ 07083-1975

CORPORATE SECRETARY
VERIZON
540 BROAD STREET
NEWARK, NJ 07101

GENERAL MANAGER
COMCAST CABLEVISION
940 PROSPECT STREET
TRENTON, NJ 08618

CORPORATE SECRETARY
AT&T
1 AT&T WAY
BEDMINSTER, NJ 07921

CORPORATE SECRETARY
JERSEY CENTRAL POWER AND LIGHT
300 MADISON AVENUE
MORRISTOWN, NJ 07962

CORPORATE SECRETARY
TRANSCONTINENTAL GAS PIPE LINE CORPORATION
2800 POST OAK BOULEVARD
HOUSTON, TX 77056

COMMISSIONER
NJ DEPARTMENT OF TRANSPORTATION
1035 PARKWAY AVENUE, CN 600
TRENTON, NJ 08625

OWNER
LAWRENCEVILLE HOLDINGS, LLC
C/O TRI STAR MGMT
950 PENINSULA CORP CIR, SUITE 200
BOCA RATON, FL 33487

APPLICANT
CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
TEL: (404) 765-8019
FAX: (404) 684-8550

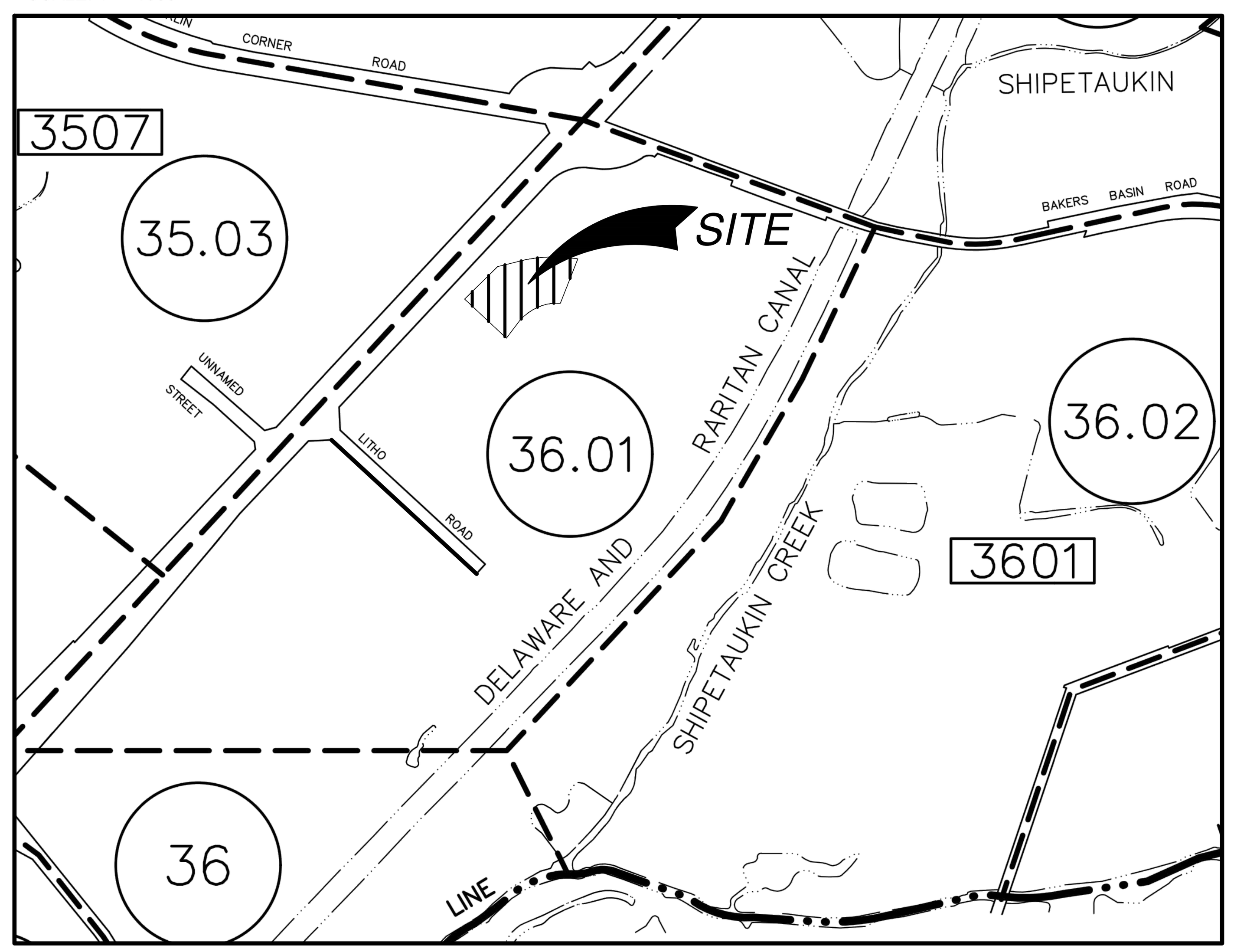
Sheet List Table

Sheet Number	Sheet Title
C-1.0	COVER SHEET
C-1.1	EXISTING CONDITIONS PLAN
C-1.2	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1	OVERALL SITE PLAN
C-2.2	TRUCK EXHIBIT
C-3.0	GRADING PLAN
C-3.1	EROSION CONTROL PLAN PHASE I
C-3.2	EROSION CONTROL PLAN PHASE II
C-4.0	CFA DETAILS
C-4.1	CFA DETAILS
C-4.2	CFA DETAILS
C-4.3	CFA DETAILS

VICINITY MAP

SCALE: 1" = 1000'

AERIAL MAP



KEY & ZONING MAP

SCALE: 1" = 400'

APPROVED BY THE TOWNSHIP OF LAWRENCE DEPARTMENT OF COMMUNITY DEVELOPMENT AT THE REGULAR MEETING OF ______________
DATE

CHAIRMAN ______________ DATE ______________

SECRETARY ______________ DATE ______________

ENGINEER ______________ DATE ______________

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE SUBMISSION

OWNER ______________ DATE ______________

FLOOD ZONE NOTE

1. THE LANDS BOUND BY THIS SURVEY LIE WITHIN FLOOD ZONE "X" AND FLOOD ZONE "A". PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) ; PANEL: #340021C0139F; COMMUNITY:340250; MAP DATE: 07/20/2016.

DATUM NOTE

1. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

GENERAL INFORMATION			
ZONE DATA - HC - HIGHWAY COMMERCIAL			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SF	496,910 SF	NO CHANGE
MINIMUM LOT FRONTAGE	200 FT	289 FT	NO CHANGE
MINIMUM LOT WIDTH	200 FT	834 FT	NO CHANGE
MINIMUM LOT DEPTH	175 FT	564	NO CHANGE
MNIMUM FRONT YARD SETBACK	25 FT	50 FT	NO CHANGE
MINIMUM REAR YARD SETBACK	60 FT	68 FT	NO CHANGE
MNUMUM LEFT SIDE YARD SETBACK	25 FT	68 FT	NO CHANGE
MINIMUM RIGHT SIDE YARD SETBACK	25 FT	104 FT	NO CHANGE
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	NO CHANGE
FLOOR AREA RATIO	0.30	0.30	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	75%	53%	56%
PARKING SPACES	178	91	130
FREESTANDING SIGN			
NUMBER			
AREA	48 SF	32.92 SF	NO CHANGE
SETBACK	15 FT	227.2 FT	NO CHANGE
HEIGHT	6 FT	6.5 FT	NO CHANGE
FACADE SIGN			
NUMBER	2	4	NO CHANGE
AREA	5% OF FACADE SF 48 SF/ 40 SF	37.71 SF	NO CHANGE

LEGAL DESCRIPTION: (BOWMAN SURVEY,)

LEASE AREA
BLOCK 3601, PORTION OF LOT 1.01
DEED BOOK 6430, PAGE 1543

BEING ALL THAT CERTAIN LOT, TRACT , OR PARCEL OF LAND SITUATED IN THE TOWNSHIP OF LAWRENCE , COUNTY OF MERCER , AND STATE OF NEW JERSEY BOUND AND DESCRIBED AS FOLLOWS:

BEGINNING AT AN INTERIOR POINT OF LOT 1.01, BLOCK 3601 AS SHOWN ON A PLAN ENTITLED "LOT CONSOLIDATION EXHIBIT, CONSOLIDATED LOT 1.01, BLOCK 3601, TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY", PREPARED BY MASER CONSULTING, P. A., DATED JANUARY 23, 2014, SAID POINT BEING THE FOLLOWING TWO COURSES AND DISTANCES FROM A POINT WHERE THE SOUTHWESTERLY LINE OF BRUNSWICK TURNPIKE (AKA U.S. ROUTE #1) (100' WIDE) IS INTERSECTED BY THE DIVISION LINE BETWEEN LOT 1.01 AND LOT 29 (LANDS N/F THE LAWRENCE CORPORATION) IN BLOCK 3601:

A. NORTH 42° 46' 28" EAST, ALONG THE SAID LINE OF BRUNSWICK HIGHWAY, DISTANCE OF 577.12 FEET TO A POINT; THENCE

B. SOUTH 47° 13' 32" EAST, A DISTANCE OF 24.51 FEET TO THE TRUE POINT OF BEGINNING; EXTENDING THENCE

1. NORTH 42° 46' 28" EAST, A DISTANCE OF 186.44 FEET TO A POINT; THENCE
2. NORTH 67° 07' 46' EAST, A DISTANCE OF 16.78 FEET TO A POINT; THENCE
3. SOUTH 09° 16' 32" EAST, A DISTANCE OF 13.62 FEET TO A POINT; THENCE
4. SOUTH 47° 13' 32" EAST, A DISTANCE OF 259.73 FEET TO A POINT; THENCE
5. SOUTHWESTERLY, ALONG AN ARC HAVING A RADIUS OF 170.37 FEET AND CURVING TO THE LEFT, AND ARC DISTANCE OF 98.10' (CENTRAL ANGLE 32° 59' 24"), SAID ARC BEING CONNECTED BY A CHORD BEARING SOUTH 59° 16' 10" WEST AND A CHORD DISTANCE OF 96.75 FEET TO A POINT OF TANGENCY; THENCE
6. SOUTH 42° 46' 28" WEST, A DISTANCE OF 100.58 FEET TO A POINT; THENCE
7. NORTH 47° 13' 32" WEST, A DISTANCE OF 249.92 FEET TO THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING A CALCULATED AREA OF 49,192 SQUARE FEET OR 1.13 ACRES

SURVEY DESCRIPTION
CHICK-FIL-A LEASE AREA
BLOCK 3601, PORTION OF LOT 1.01

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE IN THE TOWNSHIP OF LAWRENCE, COUNTY OF MERCER , AND STATE OF NEW JERSEY BEING A LEASE ·AREA, PORTION OF LOT 1.01, BLOCK 3601, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHERLY LINE OF BRUNSWICK TURNPIKE (A.KA. U.S. ROUTE 1) (100' WIDE R.O.W.) AND THE DIVIDING LINE BETWEEN LOT 29 AND LOT 1.01, BLOCK 3601; THENCE NORTH 42° 40' 52" EAST, ALONG THE SAID LINE OF BRUNSWICK HIGHWAY, DISTANCE OF 577.12 FEET TO A POINT; THENCE SOUTH 47° 19' 08" EAST, A DISTANCE OF 24.51 FEET TO A POINT ON THE INTERIOR OF AFOREMENTIONED LOT 1.01, BEING THE TRUE POINT OF BEGINNING; THENCE

1. THE FOLLOWING SEVEN (7) COURSES THROUGH THE INTERIOR OF SAID LOT 1.01, NORTH 42° 40' 52" EAST, A DISTANCE OF 186.43 FEET TO A POINT; THENCE
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AREA = 49,190 SQUARE FEET OR 1.129 ACRES

GENERAL NOTES

1. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
2. CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
5. NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
7. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Bowman
NJ Certificate of Authorization License No. 24GA28222600
6 Campus Drive, Suite 302
Parsippany, New Jersey 07054
Phone: 973-359-8400
www.bowman.com

Seal

ERIC L. KELLER
N.J. Professional Engineer, Lic. 24GE03205400

CHICK-FIL-A
LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

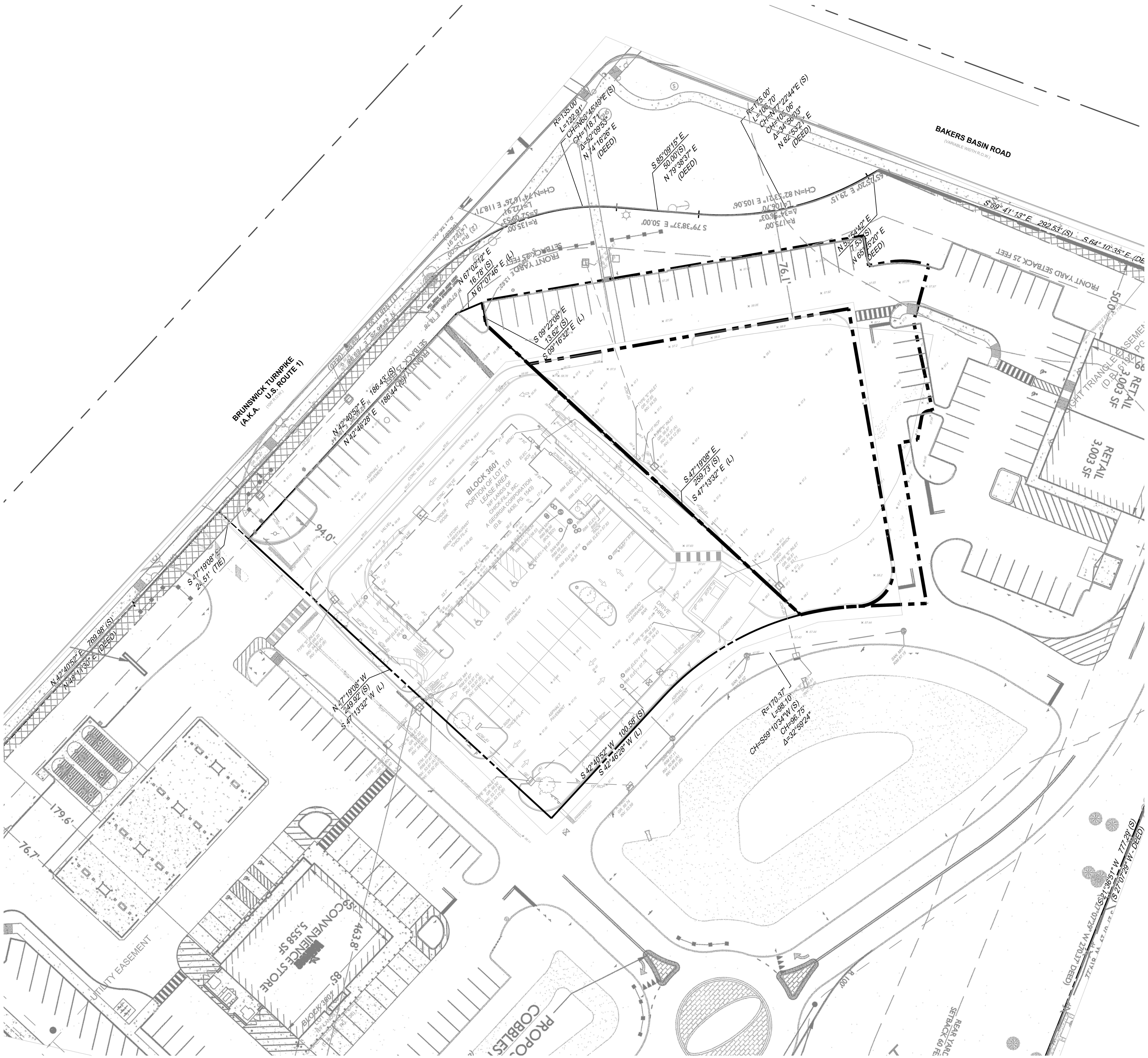
NO.	DATE	DESCRIPTION

CURRENT DESIGN NOTE APPLIED	2021-005
PROJECT #	010014-01-189
PRINTED FOR	PERMIT
DATE	9/28/2023
DRAWN BY	---

SHEET
COVER SHEET

SHEET NUMBER
C-1.0

FOR PERMIT



LEGEND

PROPERTY LINE	
EX. CONCRETE SIDEWALK	
EX. CONCRETE D CURB	
EX. CONCRETE F CURB	
EX. EDGE OF PAVEMENT	
EX. EDGE OF SIDEWALK	
EX. SIGN	
EX. GRADE	17.86'
EX. STORM INLET	
EX. TRANSFORMER	
EX. BURIED ELECTRIC	E
EX. BURIED TELEPHONE	T
EX. BURIED GAS	
EX. WATER	
EX. SANITARY SEWER	SAN
EX. STORM SEWER	
EX. SANITARY MANHOLE	
EX. TREE	
EX. LIGHT/POWER POLE	
EX. HAND HOLE	
EX. FIRE HYDRANT	
EX. BACK FLOW PREVENTER	
EX. GREASE TRAP	
EX. WATER METER	

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SOIL CLASSIFICATION

THE SOIL SURVEY OF MERCER COUNTY, NEW JERSEY AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), SOIL CONSERVATION SERVICE (SCS; LATER RENAMED THE NATURAL RESOURCE CONSERVATION SERVICE NRCS) IDENTIFIES THE SOIL TYPES AT THE SUBJECT SITE AS GALESTOWN LOAMY SAND, 0 TO 5 PERCENT SLOPES @ 11.4 ACRES COVERING 100% OF THE SITE.

SURVEY NOTE

BASE MAP INFORMATION BASED UPON PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY CHICK-FIL-A 2950 U.S. HIGHWAY ROUTE 1 BLOCK 3601, PORTION OF LOT 1.01 TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY" PREPARED BY MARTIN F. TIRELLA, N.J. LIC. 24GS02747700, P.L.S. OF BOWMAN COMPANY DATED 01/09/2023".

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DEED BOOK 6430, PAGE 1543

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AREA = 49,190 SQUARE FEET OR 1.129 ACRES

KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

GRAPHIC SCALE

30 0 15 30 60

(IN FEET)
1 inch = 30 ft.

N.J.S.P.C.S. (N.A.D.-83)

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Bowman

NJ Certificate of Authorization License No. 24GA28222600
6 Campus Drive, Suite 302
Parsippany, New Jersey 07054
Phone: 973-359-8400
www.bowman.com

Seal

ERIC L. KELLER

N.J. Professional Engineer, Lic. 24GE03205400

CHICK-FIL-A
LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

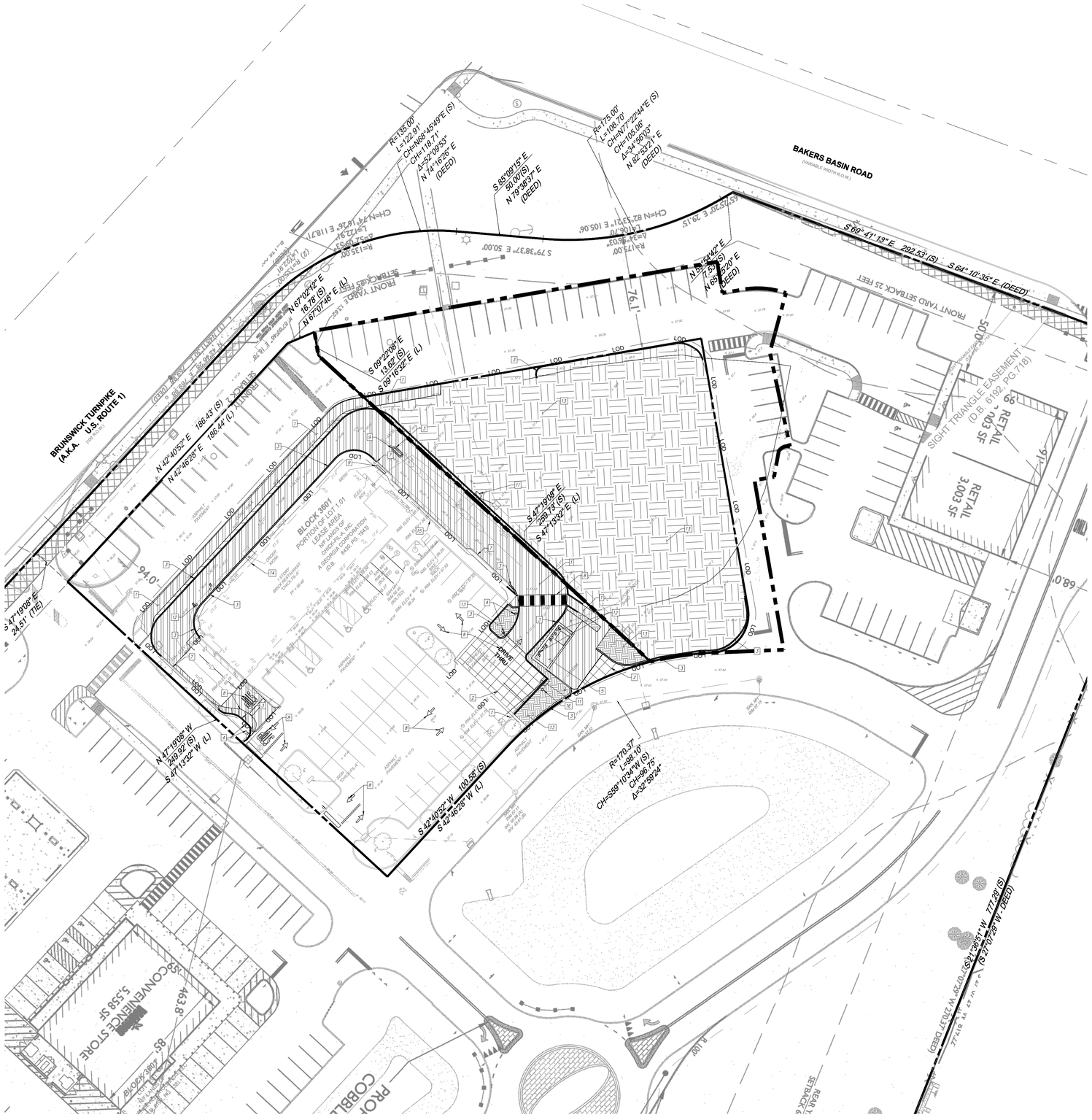
NO.	DATE	DESCRIPTION

CURRENT DESIGN NOTE APPLIED	2021-005
PROJECT #	010014-01-189
PRINTED FOR	PERMIT
DATE	7/26/2023
DRAWN BY	---

SHEET
EXISTING CONDITIONS PLAN
(NOT A SURVEY)

SHEET NUMBER
C-1.1

FOR PERMIT



LEGEND

DEMO ASPHALT DRIVE	PROPERTY LINE
DEMO CONCRETE	EX. CONCRETE SIDEWALK
DEMO OPEN SPACE	EX. CONCRETE D CURB EX. CURB AND GUTTER
LIMIT OF DISTURBANCE — LOD —	EX. ELECTRIC HAND HOLE
REMOVE/RELOCATE TREE	EX. SANITARY MANHOLE
	EX. SIGN
	EX. WATER VALVE
	EX. GAS VALVE
	EX. HYDRANT
	EX. LIGHT POLE
	EX. STORM MANHOLE
	EX. WATER MAIN
	EX. STORM INLET

SURVEY NOTE

BASE MAP INFORMATION BASED UPON PLAN ENTITLED " ALTA/NSPS LAND TITLE SURVEY CHICK-FIL-A 2950 U.S. HIGHWAY ROUTE 1 BLOCK 3601, PORTION OF LOT 1.01 TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY" PREPARED BY MARTIN F. TIRELLA, N.J. LIC. 24GS02747700, P.L.S. OF BOWMAN COMPANY DATED 01/09/2023".

DEMOLITION NOTES

1. CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
2. ASPHALT PAVEMENT TO BE REMOVED
3. CONCRETE CURB AND GUTTER TO BE REMOVED
4. SIGNS TO BE REMOVED
5. DUMPSTER ENCLOSURE TO BE REMOVED AND RELOCATED
6. SAW CUT LINE
7. CURB TO REMAIN
8. PAVEMENT MARKINGS TO BE REMOVED
9. MENU BOARDS TO BE REMOVED
10. DRAINAGE STRUCTURES TO REMAIN
11. DRAINAGE STRUCTURES TO BE REMOVED
12. BOLLARDS TO BE REMOVED
13. OPEN SPACE TO BE REMOVED
14. ORDER KIOSK TO REMAIN
15. ORDER CANOPY TO BE REMOVED AND REPLACED
16. LIGHT POLE TO BE RELOCATED

GENERAL DEMOLITION NOTES

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE WORK, ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
8. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
9. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
10. THE CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT TO DETERMINE IF ASBESTOS ABATEMENT IS REQUIRED. IF REQUIRED, ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
11. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.
13. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS TO DETERMINE IF EXISTING PERIMETER TREES/LANDSCAPING ARE TO REMAIN OR BE REMOVED.

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GRAPHIC SCALE
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1 inch = 30 ft.

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ERIC L. KELLER

N.J. Professional Engineer, Lic. 24GE03205400

CHICK-FIL-A
LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

FOR PERMIT

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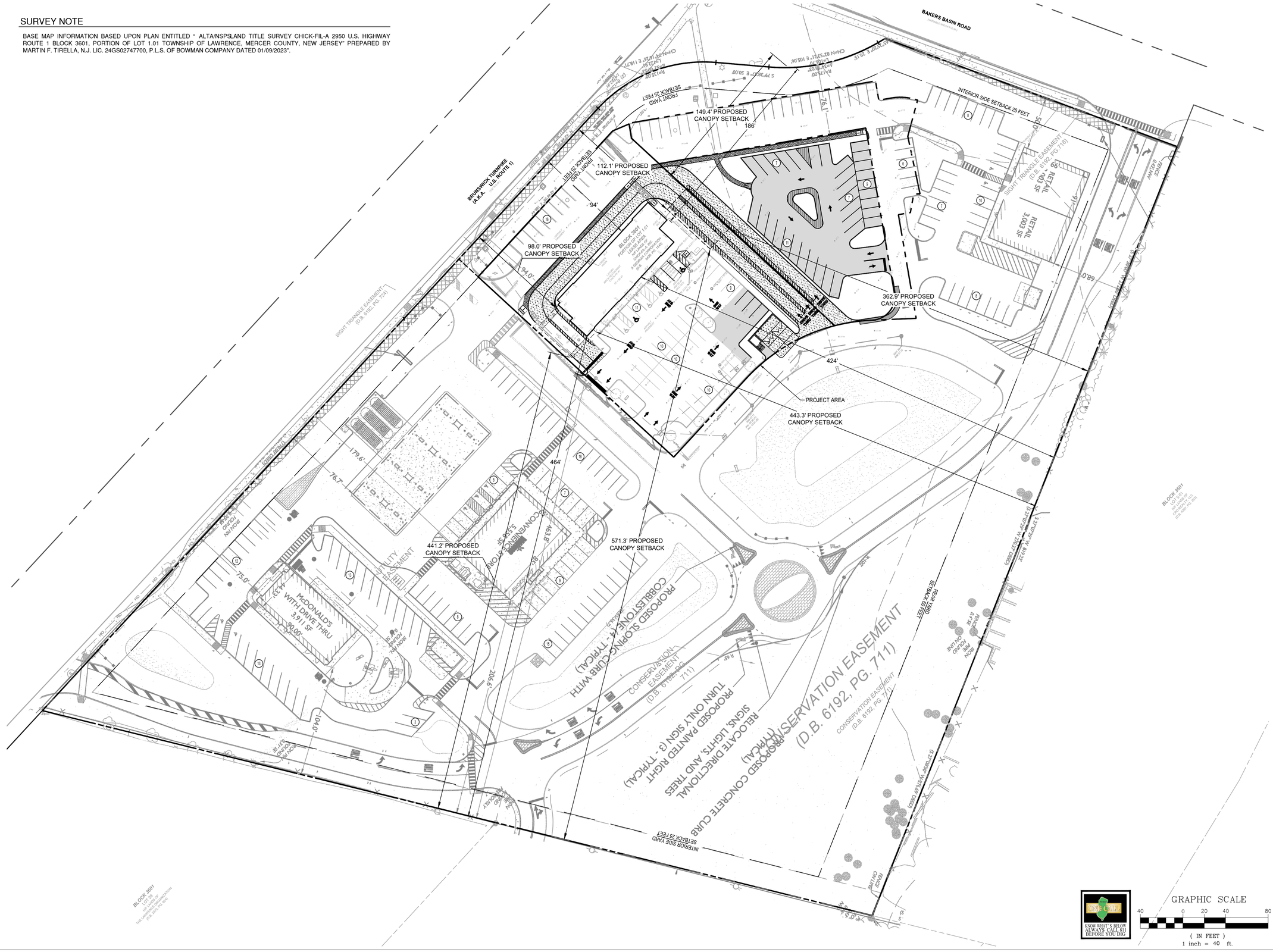
DRAWN BY	---

SHEET
DEMOLITION PLAN

SHEET NUMBER
C-1.2

SURVEY NOTE

BASE MAP INFORMATION BASED UPON PLAN ENTITLED " ALTA/NSPS LAND TITLE SURVEY CHICK-FIL-A 2950 U.S. HIGHWAY ROUTE 1 BLOCK 3601, PORTION OF LOT 1.01 TOWNSHIP OF LAWRENCE, MERCER COUNTY, NEW JERSEY" PREPARED BY MARTIN F. TIRELLA, N.J. LIC. 24GS02747700, P.L.S. OF BOWMAN COMPANY DATED 01/09/2023".



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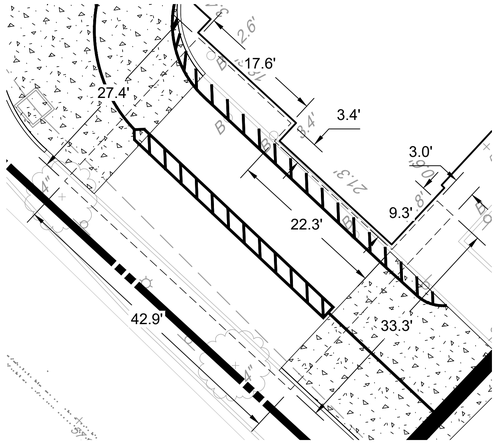
SHEET
OVERALL SITE PLAN

SHEET NUMBER
C-2.0

MEAL DELIVERY CANOPY DIMENSIONS

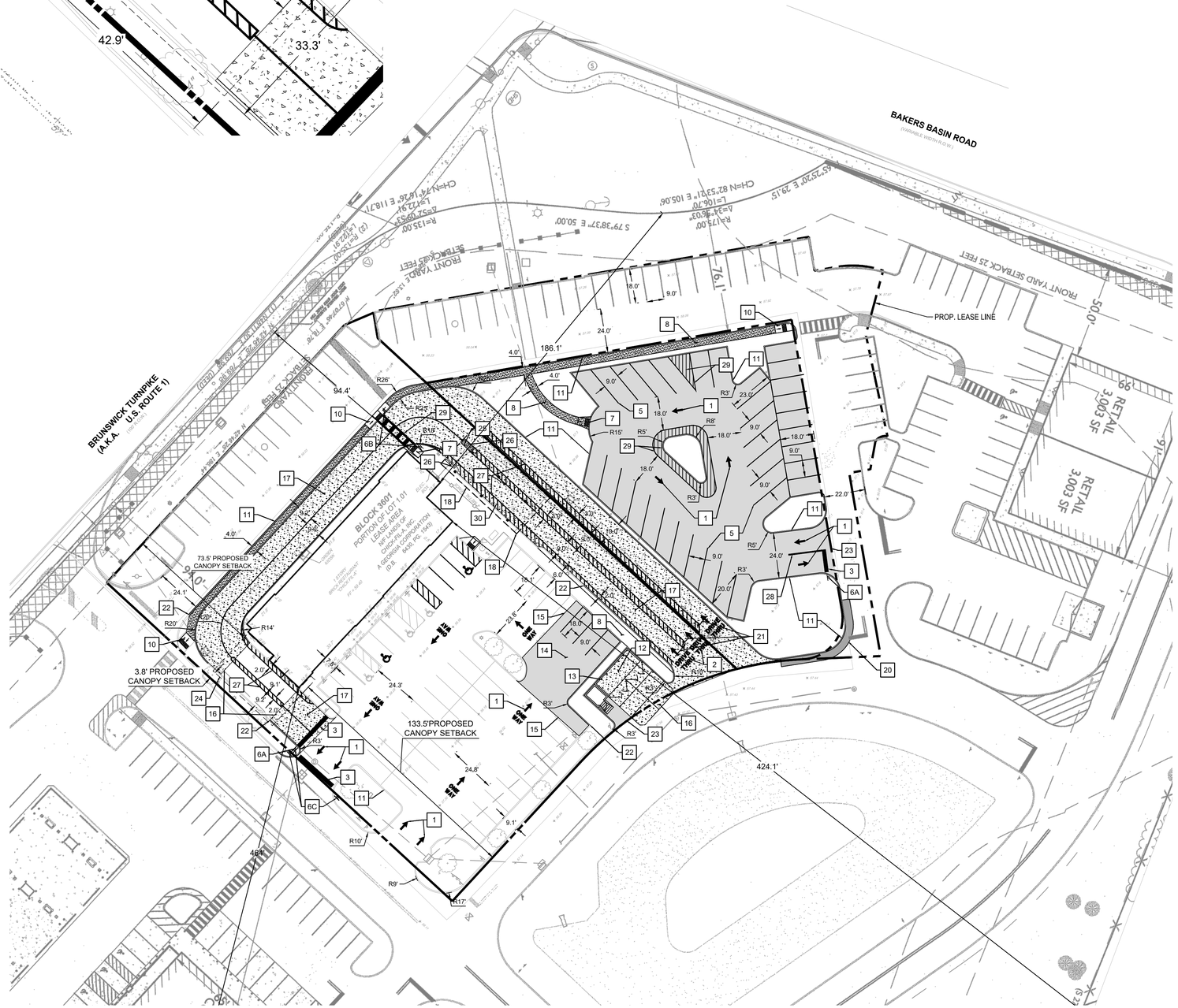


PROPOSED SITE CALCULATIONS FOR LEASE AREA			
PROPOSED AREA	SF	ACRES	%
TOTAL AFFECTED AREA	71,874	1.65	100%
PROP. PERVIOUS AREA	10,180	0.23	14%
PROP. IMPERVIOUS AREA	61,694	1.42	86%
PROP. BUILDING AREA	5,314	0.12	7%
PROP. PAVEMENT AREA	51,105	1.17	71%

EXISTING SITE CALCULATIONS FOR LEASE AREA			
EXISTING AREA	SF	ACRES	%
TOTAL AFFECTED AREA	71,874	1.65	100%
EXISTING PERVIOUS AREA	26,946	0.62	37%
EXISTING IMPERVIOUS AREA	44,928	1.03	63%
EXISTING BUILDING AREA	5,314	0.12	7%
EXISTING PAVEMENT AREA	24,275	0.56	34%

LEGEND

PROP. ASPHALT DRIVE		PROPERTY LINE	
PROP. CONC. SIDEWALK		EX. CONCRETE SIDEWALK	
PROP. CONC. PAVEMENT		EX. ASPHALT DRIVE	
PROP. TYPE "F" CURB		EX. CONCRETE D CURB	
PROP. CLEARANCE BAR		EX. CURB AND GUTTER	
PROP. PARKING STRIPE		EX. ELECTRIC HAND HOLE	E
PROP. HANDICAP MARKING		EX. RISER	
PROP. SITE SIGNAGE		EX. SANITARY MANHOLE	SAN
PROP. DIRECTIONAL ARROW		EX. SIGN	
PROP. BOLLARD		EX. WATER VALVE	
PROP. PARKING COUNT	9	EX. BACKFLOW PREVENTER	
		EX. HYDRANT	
		EX. LIGHT POLE	
		EX. SANITARY SEWER VALVE	
		EX. STORM MANHOLE	STM
		EX. WATER MAIN	
		EX. STORM INLET	
		EX. TREE	



SITE SUMMARY	
JURISDICTION	TOWNSHIP OF LAWRENCE
ZONING	HC - HIGHWAY COMMERCIAL
FLU	CC - CORRIDOR COMERCIAL
USE	DRIVE THRU RESTAURANT
TYPE OF CONSTRUCTION	COMMERCIAL
PARCEL ID	BLOCK 3601 LOT 1.01
LOT	
SIZE	496,910 SQ. FT. (11.4 AC)
IMPERVIOUS SURFACE RATIO	.75
MINIMUM LOT FRONTAGE	200 FT
MINIMUM LOT WIDTH	200 FT
MINIMUM LOT DEPTH	175 FT
BUILDING	
SIZE	5,314 SF
HEIGHT	35'
CONSTRUCTION TYPE	RENOVATION / MODIFICATION
F.A.R.	0.3000

BUILDING SETBACKS		
SETBACK	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTHWEST)	25	94.4
REAR (SOUTHEAST)	60	424.1
INTERIOR SIDE (NORTHEAST)	25	186.1
INTERIOR SIDE (SOUTHWEST)	25	414.6

PARKING	
STALL SIZE	9' X 18'

PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
GROSS FLOOR AREA	5,314 SF	1 PARKING SPACE PER 30 SF OF GFA	178 SPACES
STANDARD PARKING PROVIDED			125
HANDICAP PARKING REQUIRED			5
HANDICAP PARKING PROVIDED			5
TOTAL PARKING PROVIDED			130*

*A PARKING VARIANCE WAS PREVIOUSLY GRANTED FOR THE SITE; THEREFORE, THE PROPOSED IMPROVEMENTS WILL REDUCE THE PARKING DEFICIT.

LANDSCAPE BUFFERS		
BUFFER	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTHWEST)	25	69.7
REAR (SOUTHEAST)	60	136.7
INTERIOR SIDE (NORTHEAST)	25	33.9
INTERIOR SIDE (SOUTHWEST)	25	28.3

SURVEY NOTE

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SITE NOTES

1. CONST. DIRECTIONAL ARROW (TYP.)
2. CONST. DRIVE-THRU GRAPHICS
3. CONST. 24" WIDE WHITE STOP BAR
4. CONST. ADA PARKING STALL
5. CONST. STANDARD PARKING STALL
6. DIRECTIONAL SIGNAGE (REFER TO SIGN PACKAGE FOR MORE DETAILS)
   - 6A STOP SIGN (R1-1)
   - 6B PEDESTRIANS CROSSING
   - 6C DO NOT ENTER SIGN (R5-1)
7. CONST. ACCESSIBLE RAMP WITH FLARED SIDES
8. CONST. TYPICAL CONCRETE SIDEWALK
9. CONST. SIDEWALK W/ GRANITE BLOCK CURB DETAIL
10. CONST. 6' SIDEWALK RAMP @ 1:12 MAXIMUM SLOPE
11. CONST. TYPE "D" CURB
12. CONST. REFUSE ENCLOSURE WITH STORAGE SHED
13. CONST. CONCRETE BOLLARD
14. CONST. ASPHALT PAVEMENT
15. CONST. PAVEMENT EDGE
16. CONST. CONCRETE APRON AT REFUSE ENCLOSURE
17. CONST. CONCRETE PAVING DRIVE-THRU LANE
18. CONST. ORDER CANOPY
19. CONST. TYPE E INLET
20. PAVEMENT REPAIR STRIP FOR NEW CONCRETE CURB
21. CONST. CLEARANCE BAR
22. CONNECT TO EXISTING CURB
23. CONNECT TO EXISTING EDGE OF PAVEMENT
24. CONST. MEAL ORDER DELIVERY CANOPY
25. CONST. DRIVE-THRU ORDER POINT ISLAND
26. CONST. MENU BOARD
27. CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3' O.C., YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
28. CONST. 25 LF SOLID 6" DOUBLE YELLOW STRIPING
29. CONST. CROSSWALK PER MUTCD STANDARDS, SECTION 3B.18

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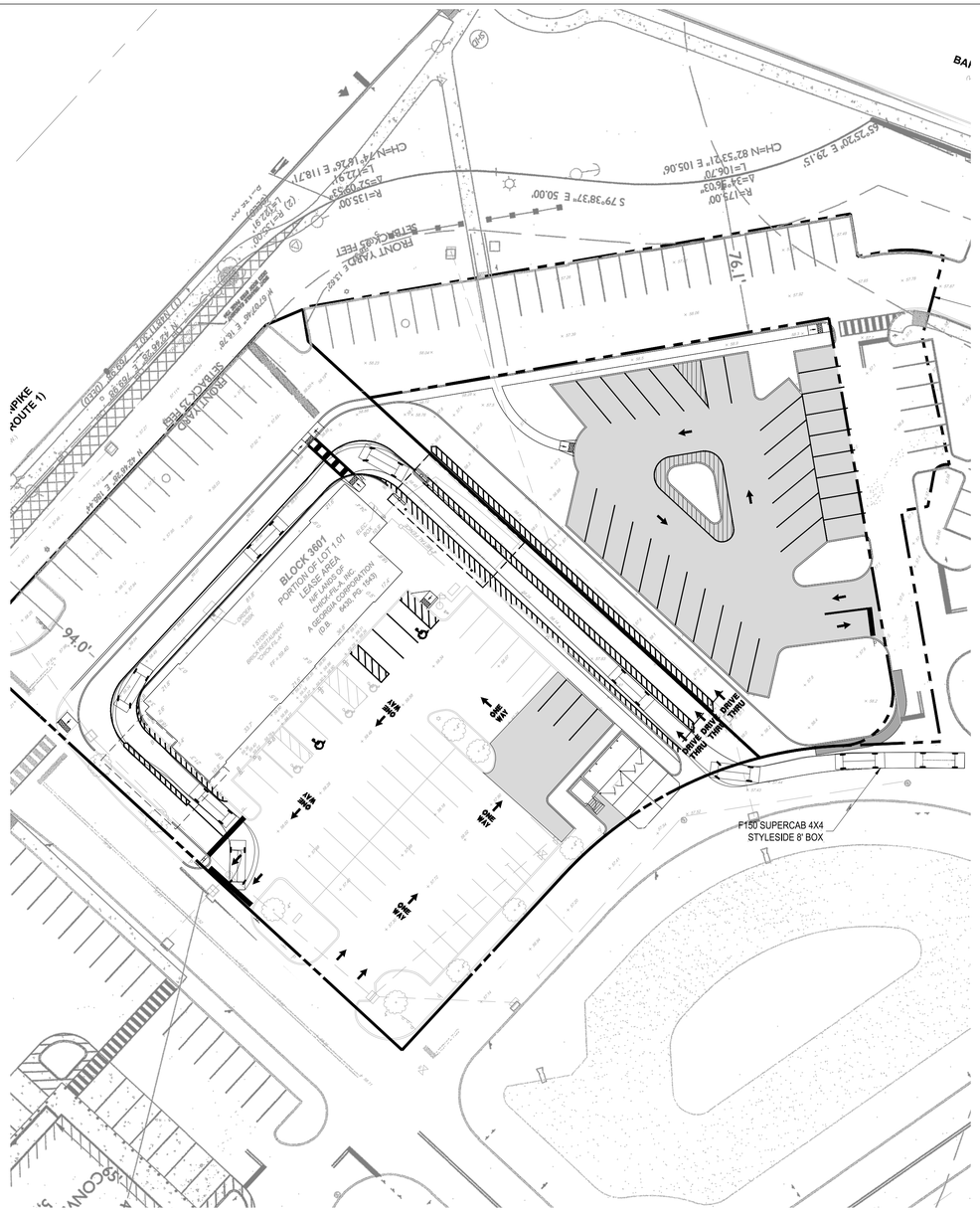
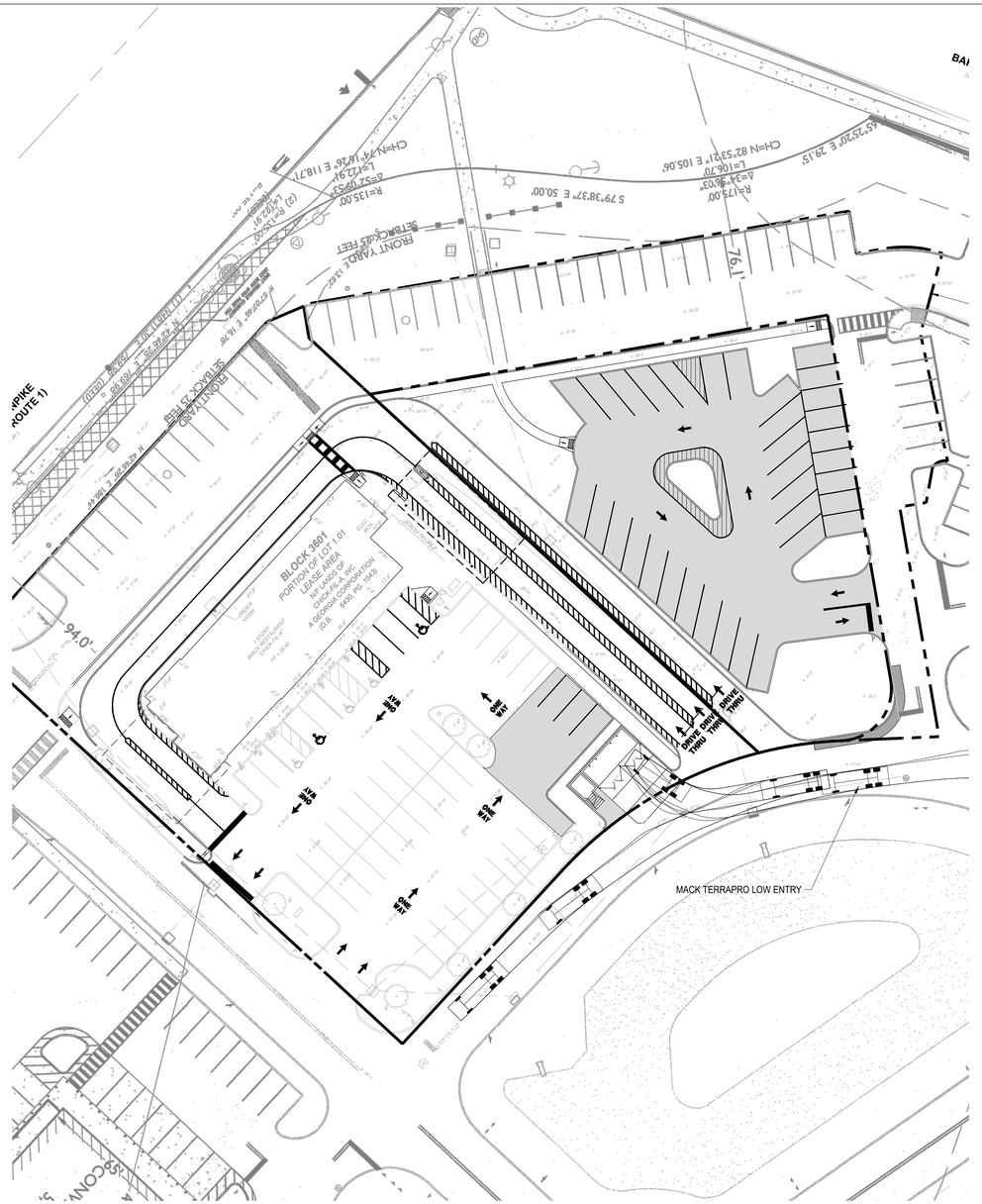
SHEET
SITE PLAN

SHEET NUMBER
C-2.1





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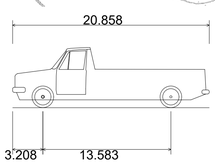
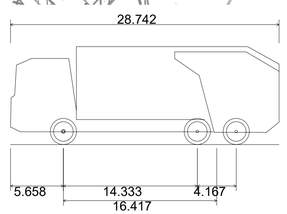


F150 SuperCab 4x4 STYLESIDE 8' Box

Overall Length	
Overall Width	
Overall Body Height	
Min Body Ground Clearance	
Track Width	
Lock-to-lock time	
Curb to Curb Turning Radius	



Mack TerraPro Low Entry 6x4 LEU 613 + Wayne Phoenix III 25Yd

Overall Length	28.742ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	34.000ft

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SHEET
Truck Exhibit

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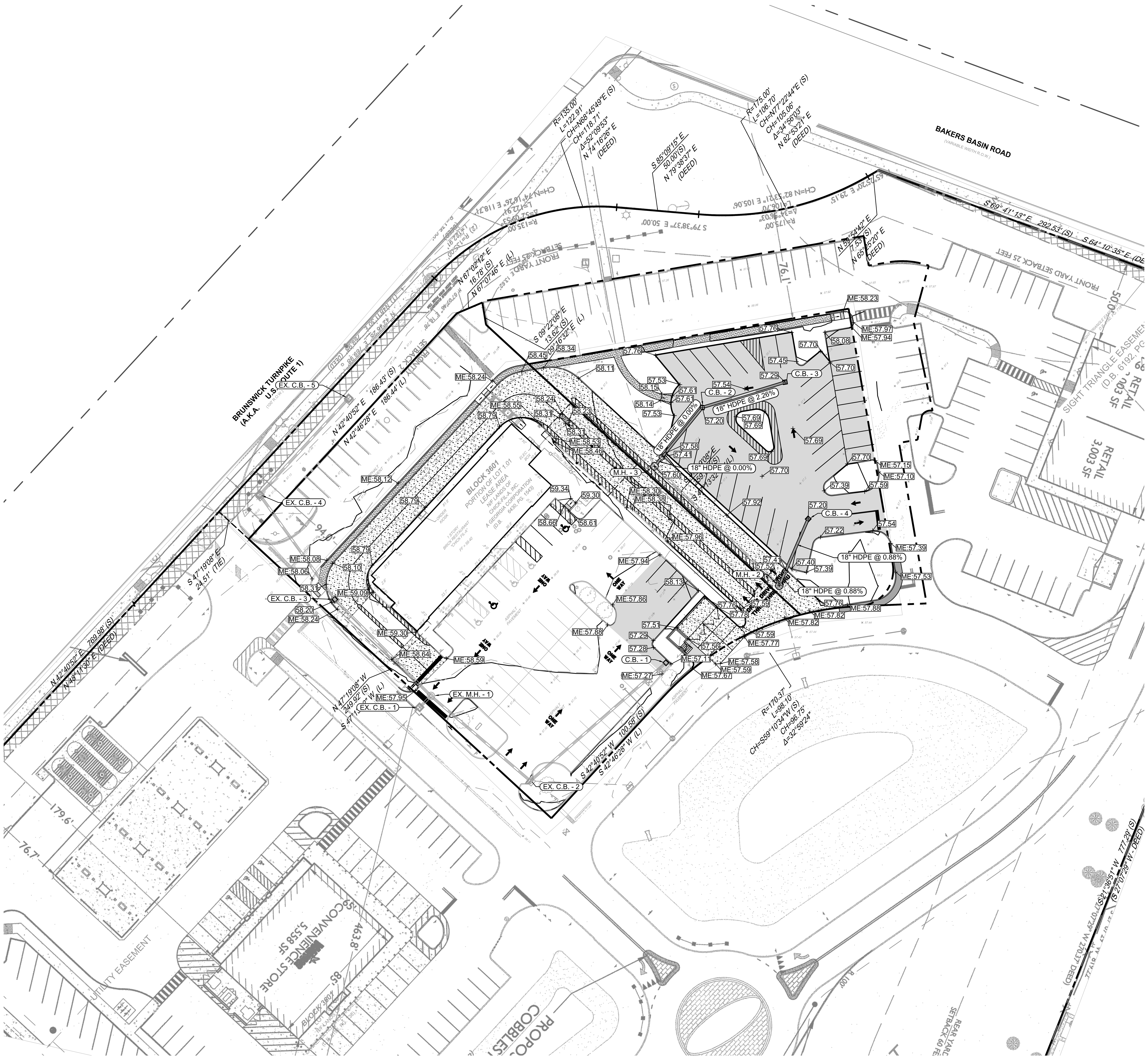

LEGEND

PROP. ASPHALT DRIVE		PROPERTY LINE	
PROP. ASPHALT DRIVE		EX. CONCRETE SIDEWALK	
PROP. CONC. SIDEWALK		EX. ASPHALT DRIVE	
PROP. CONC. PAVEMENT		EX. CONCRETE D CURB	
PROP. TYPE "F" CURB		EX. CURB AND GUTTER	
PROP. CLEARANCE BAR		EX. ELECTRIC HAND HOLE	E
PROP. PARKING STRIPE		EX. RISER	
PROP. HANDICAP MARKING		EX. SANITARY MANHOLE	SAN
PROP. SITE SIGNAGE		EX. SIGN	
PROP. DIRECTIONAL ARROW		EX. WATER VALVE	WV
PROP. BOLLARD		EX. BACKFLOW PREVENTER	
PROP. PARKING COUNT	9	EX. HYDRANT	
PROP. CATCH BASIN		EX. LIGHT POLE	
PROP. PAVEMENT ELEVATION	XX.XX	EX. SANITARY SEWER VALVE	SV
MATCH EXISTING PAVEMENT ELEVATION	MEXX.XX	EX. STORM MANHOLE	STORM
		EX. WATER MAIN	WM
		EX. STORM INLET	
		EX. TREE	

FLOOD ZONE NOTE

1. THE CHICK-FIL-A LEASE AREA SUBJECT PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X" - (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) ; PANEL: #34021C0139F; MAP DATE: 07/20/2016.

DATUM NOTE

1. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SOIL CLASSIFICATION

THE SOIL SURVEY OF MERCER COUNTY, NEW JERSEY AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), SOIL CONSERVATION SERVICE (SCS; LATER RENAMED THE NATURAL RESOURCE CONSERVATION SERVICE NRCS) IDENTIFIES THE SOIL TYPES AT THE SUBJECT SITE AS GALESTOWN LOAMY SAND, 0 TO 5 PERCENT SLOPES @ 11.4 ACRES COVERING 100% OF THE SITE.

STORMWATER STRUCTURE TABLE

STRUCTURE ID	STRUCTURE TYPE	RIM ELEV.	PIPE INVERTS	PIPE INFORMATION
C.B. - 1	PROP. TYPE "E" INLET	RIM = 57.20	IN (SW) = 54.33	109 LF, 15" RCP @ -0.51%
C.B. - 2	PROP. TYPE "E" INLET	RIM = 57.20	IN (SW) = 54.12 OUT (E) = 54.12	38 LF, 18" HDPE @ 0.00% 52 LF, 18" HDPE @ 2.26%
C.B. - 3	PROP. TYPE "E" INLET	RIM = 57.30	IN (W) = 52.93	52 LF, 18" HDPE @ 2.26%
C.B. - 4	PROP. TYPE "E" INLET	RIM = 57.20	OUT (SW) = 54.10	34 LF, 18" HDPE @ 0.88%
C.B. - 5	PROP. CURB INLET	RIM = 55.86	IN (NE) = 53.80 OUT (SW) = 53.80	34 LF, 18" HDPE @ 0.88% 10 LF, 18" HDPE @ 0.88%
C.B. - 6	PROP. GRATE INLET	RIM = 56.18	IN (SW) = 54.12 OUT (NE) = 54.12	8 LF, 18" HDPE @ 0.00% 38 LF, 18" HDPE @ 0.00%
EX. C.B. - 1	EX. TYPE "E" INLET TO REMAIN	RIM = 57.02	IN (NE) = 54.17	10 LF, 15" RCP @ -2.06%
EX. C.B. - 2	EX. TYPE "B" INLET TO REMAIN	RIM = 56.91	OUT (NE) = 53.77 OUT (NW) = 53.72	109 LF, 15" RCP @ -0.51% 79 LF, 15" RCP @ -0.25%
EX. C.B. - 3	EX. TYPE "E" INLET TO BE MODIFIED	RIM = 58.28	OUT (NW) = 54.40 IN (SE) = 54.30	78 LF, 15" RCP @ -0.28% 83 LF, 15" RCP @ -0.40%
EX. C.B. - 4	EX. TYPE "E" INLET TO REMAIN	RIM = 56.87	IN (SE) = 54.62 OUT (NE) = 54.62	78 LF, 15" RCP @ -0.28% 80 LF, 15" RCP @ -0.29%
EX. C.B. - 5	EX. TYPE "E" INLET TO REMAIN	RIM = 56.68	IN (SW) = 54.85	80 LF, 15" RCP @ -0.29%
EX. M.H. - 1	EX. STORM MANHOLE TO REMAIN	RIM = 57.58	IN (SE) = 53.92 OUT (SW) = 53.97 OUT (NW) = 53.97	79 LF, 15" RCP @ -0.25% 10 LF, 15" RCP @ -2.06% 83 LF, 15" RCP @ -0.40%
M.H. - 2	EX. TYPE "E" INLET TO BE MODIFIED	RIM = 57.52	OUT (NW) = 53.71 IN (NE) = 53.71	105 LF, 15" RCP @ -0.39% 10 LF, 18" HDPE @ 0.88%
M.H. - 3	EX. TYPE "E" INLET TO BE REPLACE WITH MANHOLE	RIM = 57.60	IN (SE) = 54.12 OUT (NE) = 54.12	105 LF, 15" RCP @ -0.39% 8 LF, 18" HDPE @ 0.00%

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FSU# 04534

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SHEET
GRADING PLAN

SHEET NUMBER
C-3.0

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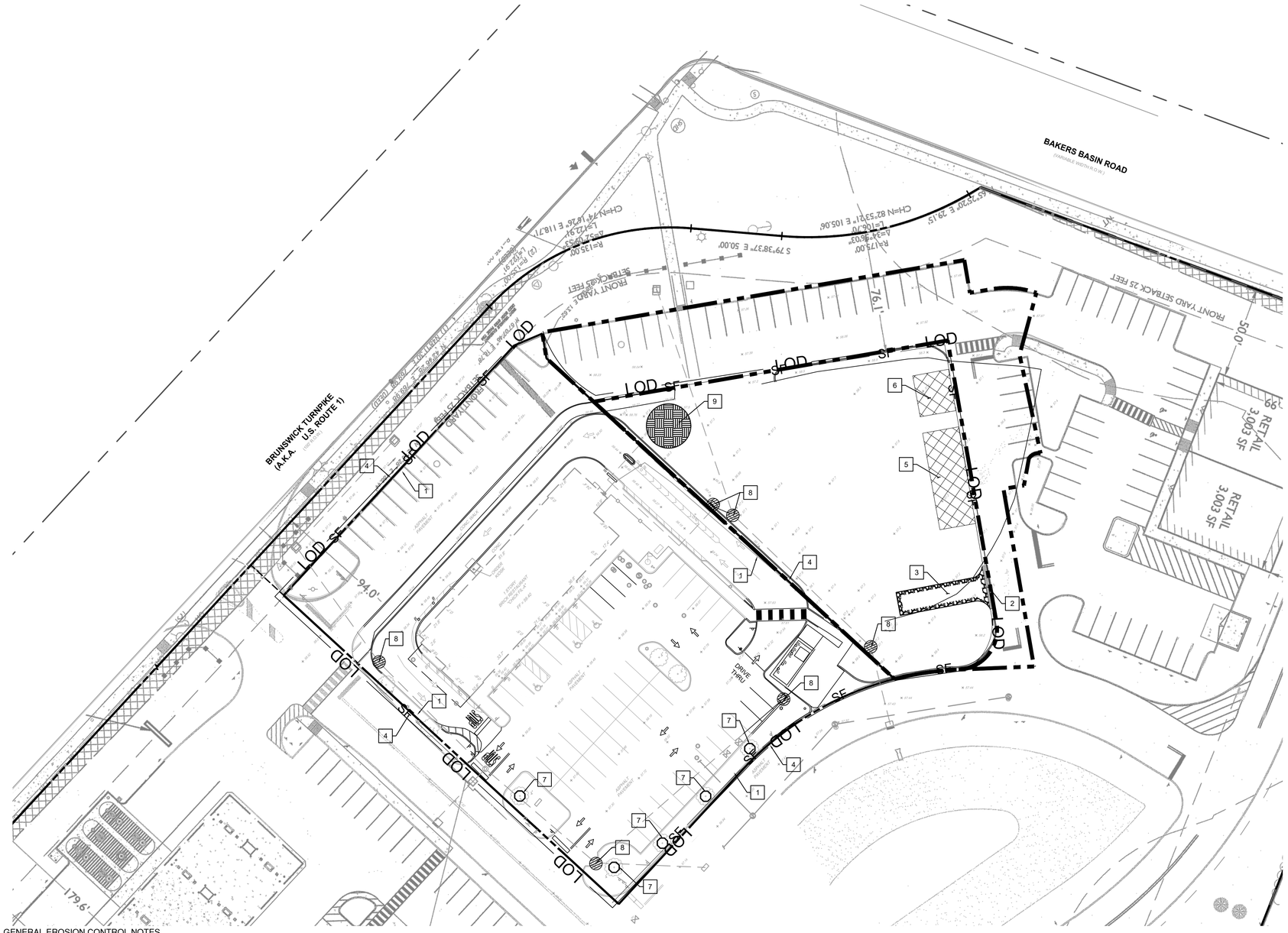


LEGEND

LIMIT OF DISTURBANCE	LOD	PROPERTY LINE	
PROP. INLET FILTER		EX. CONCRETE SIDEWALK	
PROP. SILT DIKE ON PAVEMENT		EX. ASPHALT DRIVE	
PROP. SILT FENCE	SF	EX. CONCRETE D CURB EX. CURB AND GUTTER	
TEMPORARY PARKING AND STAGING AREAS		EX. ELECTRIC HAND HOLE	E
STABILIZED CONSTRUCTION EXIT		EX. RISER	
		EX. SANITARY MANHOLE	SAN
		EX. SIGN	
		EX. WATER VALVE	
		EX. BACKFLOW PREVENTER	
		EX. HYDRANT	
		EX. LIGHT POLE	
		EX. SANITARY SEWER VALVE	SV
		EX. STORM MANHOLE	
		EX. WATER MAIN	
		EX. STORM INLET	
		EX. TREE	

EROSION CONTROL NOTES

1. CONST. SILT FENCE (SF)
2. CONST. SILT DIKE ON PAVEMENT (SDP)
3. CONST. STABILIZED CONSTRUCTION EXIT
4. LIMIT OF DISTURBANCE (LOD)
5. TEMPORARY PARKING AREA
6. TEMPORARY STORAGE AREA
7. CONST. TREE BARRIER (TB)
8. CONST. INLET FILTER (IF)
9. CONST. TOPSOIL STOCK PILE (TSP)

CONSTRUCTION SEQUENCE

1. CONDUCT PRE-CONSTRUCTION MEETING WITH THE COUNTY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
2. INSTALL AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
3. INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN.
4. INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
5. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
6. DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
7. BEGIN GRADING THE SITE.
8. BEGIN CONSTRUCTION OF UTILITIES.
9. BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
10. BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
11. COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED.
12. COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
13. OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
14. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
15. STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION FDEP GENERIC PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITON WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
7. ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

GENERAL EROSION CONTROL NOTES

1. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO: MCSCD, 590 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690 PHONE: 609-586-9603 FAX: 609-586-1117 EMAIL: PAULS1MERCER@AOL.COM
2. IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR A NJPDES CONSTRUCTION ACTIVITY STORMWATER 5G3 PERMIT (NJG0088323) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJ.GOV/DEP/ONLINE) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONSITE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN SCD CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
3. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
5. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
6. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NJ. IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTORY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A 1½" TO 2½" CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE, DEPENDING ON SITE CONDITIONS AND AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE INDIVIDUAL LOT ACCESS POINTS WITHIN RESIDENTIAL SUBDIVISIONS. IF THE EGRESS IS TO A COUNTY ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 3H:1V SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER AN INITIAL DISTURBANCE OR ROUGH GRADING.
11. ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS.
12. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH A BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON ALL SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME, AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET THE STANDARDS.
13. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS, AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED 4" TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
15. PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDBED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WITH OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
16. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDBED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24" OF SOIL HAVING A PH OF 5 OR MORE.
17. MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE, CONDITIONAL ROCÎ S ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC OR THE COMPLETION OF WORK IN A GIVEN AREA.
18. HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN THE SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
19. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING THE LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
20. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
21. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
22. ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUSIVE OF ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDING, ALL AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INSTALLATION OF THE OUTFLOW CONTROL STRUCTURES AND DISCHARGE STORM DRAINAGE PIPING, LOW FLOW CHANNELS, CONDUIT OUTLET PROTECTION, EMERGENCY SPILLWAYS, AND LAP RING PROTECTION.
23. THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED. ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR A SIMILAR STABLE SURFACE.
24. ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
25. ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
26. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.
MERCER COUNTY SOIL CONSERVATION DISTRICT
590 HUGHES DRIVE
HAMILTON SQUARE, N.J. 08690

KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

GRAPHIC SCALE
30 0 15 30 60
(IN FEET)
1 inch = 30 ft.

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Bowman

NJ Certificate of Authorization License No. 24GA28022600
6 Campus Drive, Suite 302
Parsippany, New Jersey 07054
Phone: 973-359-8400
www.bowman.com

Seal

ERIC L. KELLER

N.J. Professional Engineer, Lic. 24GE03205400

CHICK-FIL-A
LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

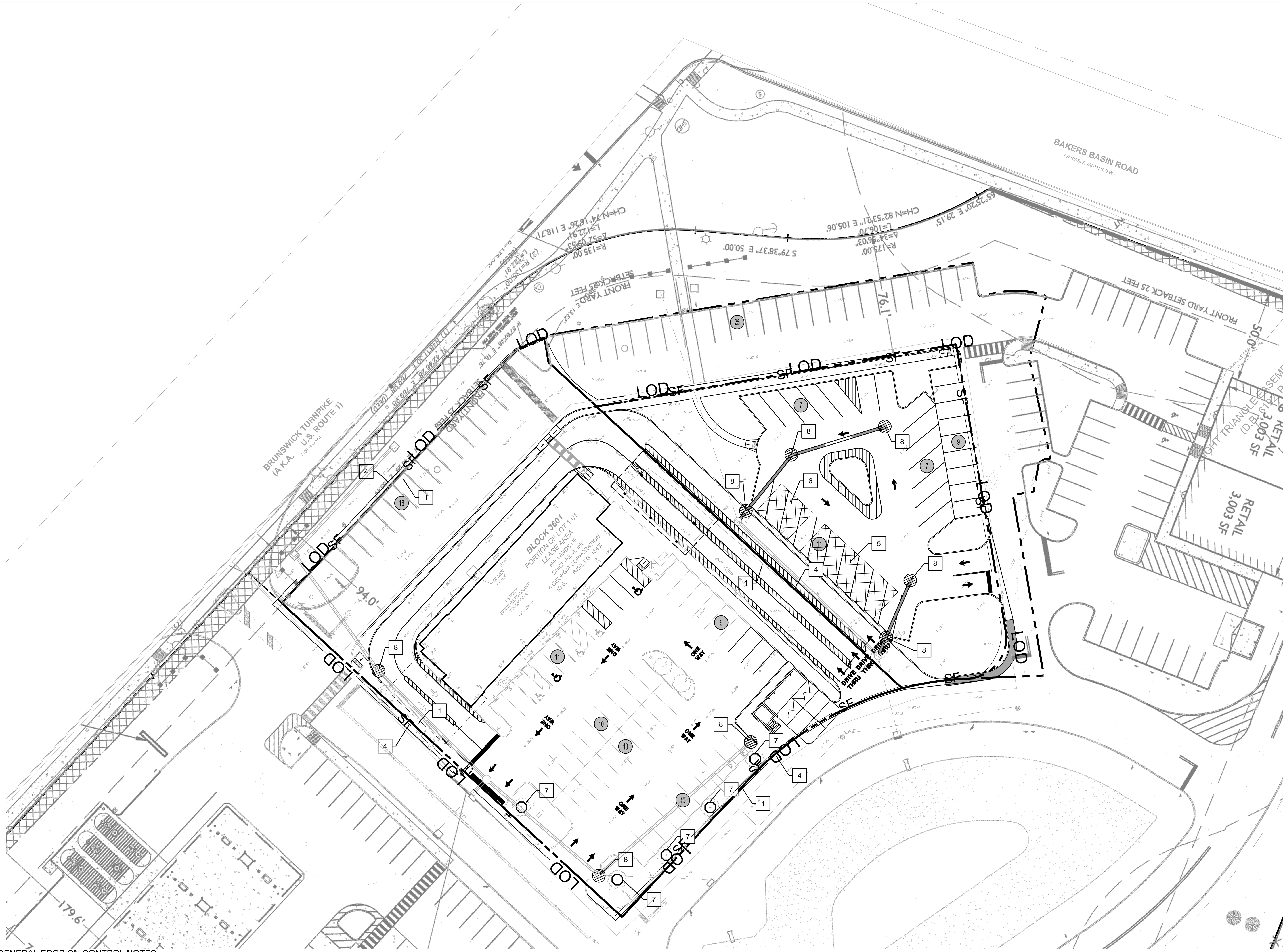
NO.	DATE	DESCRIPTION

CURRENT DESIGN NOTE APPLIED	2021-005
PROJECT #	010014-01-189
PRINTED FOR	PERMIT
DATE	7/26/2023
DRAWN BY	---

SHEET
EROSION CONTROL PLAN - PHASE I

SHEET NUMBER
C-3.1

FOR PERMIT



LEGEND

LIMIT OF DISTURBANCE	LOD	PROPERTY LINE	
PROP. INLET FILTER		EX. CONCRETE SIDEWALK	
PROP. SILT DIKE ON PAVEMENT		EX. ASPHALT DRIVE	
PROP. SILT FENCE	SF	EX. CONCRETE D CURB	
TEMPORARY PARKING AND STAGING AREAS		EX. CURB AND GUTTER	
		EX. ELECTRIC HAND HOLE	E
		EX. RISER	
		EX. SANITARY MANHOLE	SAN
		EX. SIGN	
		EX. WATER VALVE	WV
		EX. BACKFLOW PREVENTER	
		EX. HYDRANT	
		EX. LIGHT POLE	
		EX. SANITARY SEWER VALVE	SV
		EX. STORM MANHOLE	STORM
		EX. WATER MAIN	WM
		EX. STORM INLET	
		EX. TREE	

EROSION CONTROL NOTES

1 CONST. SILT FENCE (1/C-3.4)
2 CONST. SILT DIKE ON PAVEMENT (3/C-3.4)
3 CONST. STABILIZED CONSTRUCTION EXIT (6/C-3.4)
4 LIMIT OF DISTURBANCE
5 TEMPORARY PARKING AREA
6 TEMPORARY STORAGE AREA
7 CONST. TREE BARRIER (5/C-3.4)
8 CONST. INLET FILTER (4/C-3.4)

CONSTRUCTION SEQUENCE

1. APPROXIMATE START OF CONSTRUCTION, PENDING RECEIPT OF APPROVALS – NOVEMBER 1, 2023
2. INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE, INLET FILTERS, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE. 2 DAYS
3. DEMOLITION OF EXISTING FEATURES SUCH AS ASPHALT AND CONCRETE PAVEMENT, CURBING, SIGNAGE, MENU BOARDS, TRASH ENCLOSURE, AND DRAINAGE STRUCTURES. 1 WEEK
4. CLEAR AND ROUGH GRADE SITE. 1 WEEK
5. CONSTRUCT NEW ASPHALT PARKING LOT AND CURBING. 2 WEEKS
6. CONSTRUCT NEW DRIVE-THRU LANES, MENU BOARDS AND SIGNAGE. 2 WEEKS
7. INSTALL NEW TRASH ENCLOSURE. 1 WEEK.
8. TEMPORARY SEED ALL AREAS TO BE LEFT EXPOSED FOR MORE THAN 30 DAYS (ONGOING). 1 DAY
9. INSTALL NEW LIGHTING, LANDSCAPE AND SIGNAGE. 2 WEEKS
10. PERMANENT SEED ALL AREAS. 2 DAYS
11. INSTALL PAVEMENT MARKINGS. 2 DAYS
12. REMOVE REMAINING SOIL EROSION CONTROL DEVICES WHEN SITE IS STABILIZED. 1 DAY
13. APPROXIMATE COMPLETION DATE OF CONSTRUCTION, PENDING RECEIPT OF APPROVALS – MARCH 1, 2024

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION FDEP GENERIC PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
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6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
7. ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

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16. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDBED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24″ OF SOIL HAVING A PH OF 5 OR MORE.
17. MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONAL ROC S ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC OR THE COMPLETION OF WORK IN A GIVEN AREA.
18. HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN THE SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
19. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING THE LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
20. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
21. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
22. ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUSIVE OF ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDING, ALL AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INSTALLATION OF THE OUTFLOW CONTROL STRUCTURES AND DISCHARGE STORM DRAINAGE PIPING, LOW FLOW CHANNELS, CONDUIT OUTLET PROTECTION, EMERGENCY SPILLWAYS, AND LAP RING PROTECTION.
23. THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4″ CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.
ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR A SIMILAR STABLE SURFACE.
24. ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
25. ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
26. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.
MERCER COUNTY SOIL CONSERVATION DISTRICT
590 HUGHES DRIVE
HAMILTON SQUARE, N.J. 08690

KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

GRAPHIC SCALE
30 0 15 30 60
(IN FEET)
1 inch = 30 ft.

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Bowman
NJ Certificate of Authorization License No. 24GA28222600
6 Campus Drive, Suite 302
Parsippany, New Jersey 07054
Phone: 973-359-8400
www.bowman.com

Seal

ERIC L. KELLER
N.J. Professional Engineer, Lic. 24GE03205400

CHICK-FIL-A
LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

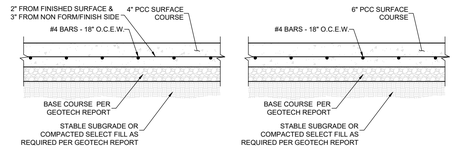
CURRENT DESIGN NOTE APPLIED	**2021-005**
PROJECT #	**010014-01-189**
PRINTED FOR	**PERMIT**
DATE	**7/26/2023**
DRAWN BY	---

SHEET
EROSION CONTROL PLAN - PHASE II
SHEET NUMBER
C-3.2

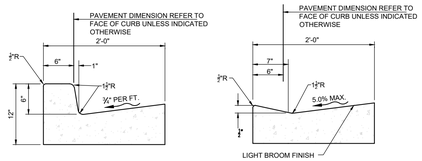
FOR PERMIT

NOTES:

1. DESIGN PER GEOTECH REPORT BY ECS MID-ATLANTIC, LLC, DATED MARCH 3, 2023.
2. PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
3. JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.

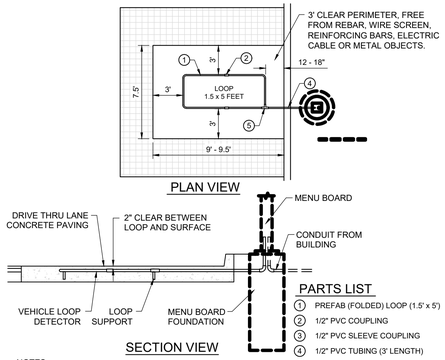


12 CONCRETE PAVEMENTS
C4.0 NOT TO SCALE



NOTES:
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS
2. CONTRACTION JOINTS @ 1-'0" O.C. TOOLED ¼" (± 1/16"- -0) WIDE, 1" OR MAX. D/4 DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS
3. IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL.
4. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE & LONGITUDINAL.

11 CONCRETE CURB & GUTTER
C4.0 NOT TO SCALE

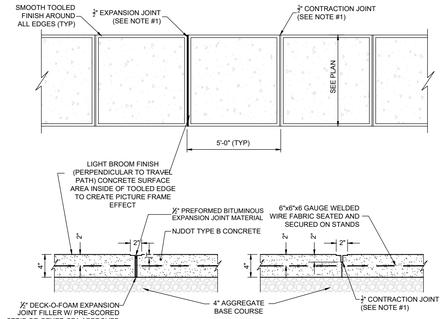


PARTS LIST

1	PREFAB (FOLDED) LOOP (1.5' x 5')
2	1/2" PVC COUPLING
3	1/2" PVC SLEEVE COUPLING
4	1/2" PVC TUBING (3' LENGTH)
5	1/2" PVC CORNER FITTING
6	1/2" PVC 90° ELBOW
7	1/2" PVC TUBING (2' LENGTH)

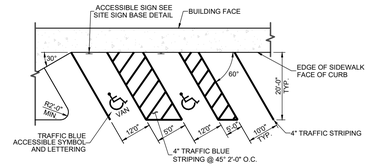
NOTES:
1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

10 MENU BOARD LOOP DETECTION SYSTEM
C4.0 NOT TO SCALE



NOTES:
1. JOINTS AT 5'-0" O.C. TOOLED ¼" WIDE, 1" DEEP OR MAX. ⅓ DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.
2. CONCRETE SURFACE TO HAVE BROOM FINISH

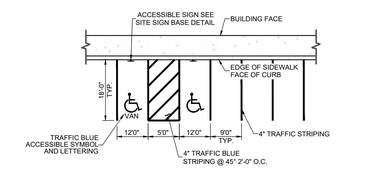
9 CONCRETE SIDEWALK
C4.0 NOT TO SCALE



NOTES

1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES & ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
3. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
8. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE.
9. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

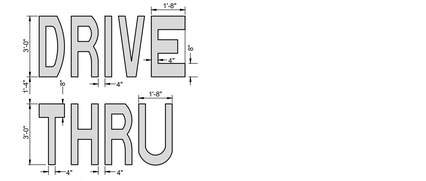
4 60° ANGLED PARKING STRIPING
C4.0 NOT TO SCALE



NOTES

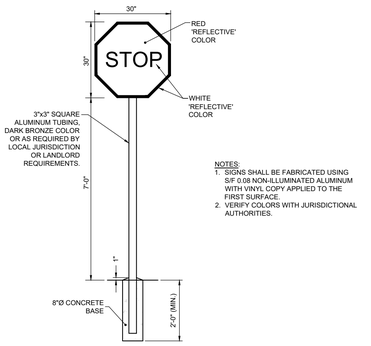
1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES & ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
3. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
8. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE.
9. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

3 90° PARKING STRIPING
C4.0 NOT TO SCALE



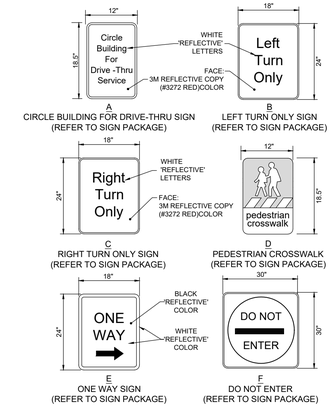
NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.
4. IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

2 PAVEMENT MARKINGS - 2
C4.0 NOT TO SCALE

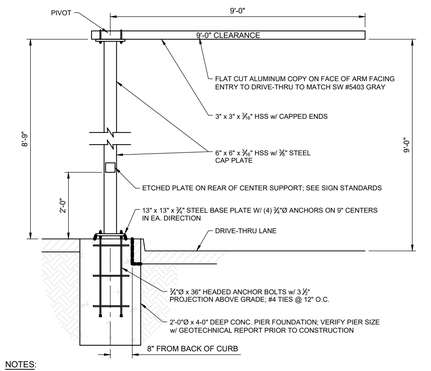


NOTES:
1. SIGNS SHALL BE FABRICATED USING S/F 0.08 NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.
2. VERIFY COLORS WITH JURISDICTIONAL AUTHORITIES.

8 STOP SIGN
C4.0 NOT TO SCALE

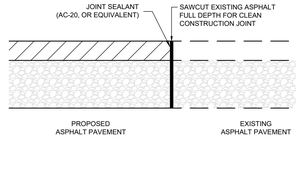


7 DIRECTIONAL SIGNAGE
C4.0 NOT TO SCALE

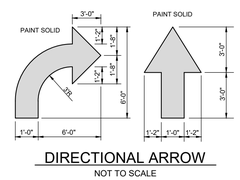


NOTES:
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED QPC P-820 MATTE BLACK FINISH
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION
3. COORDINATE w/ THE ARCHITECT & STRUCTURAL ENGINEER

6 DRIVE-THRU CLEARANCE BAR
C4.0 NOT TO SCALE



5 BUTT JOINT
C4.0 NOT TO SCALE



NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

1 PAVEMENT MARKINGS - 1
C4.0 NOT TO SCALE

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Bowman

NJ Certificate of Authorization License No. 24GA28222600
6 Campus Drive, Suite 302
Parsippany, New Jersey 07054
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Seal

ERIC L. KELLER

N.J. Professional Engineer, Lic. 24GE03205400

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LAWRENCE TOWNSHIP FSU
2950 US HIGHWAY 1
LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

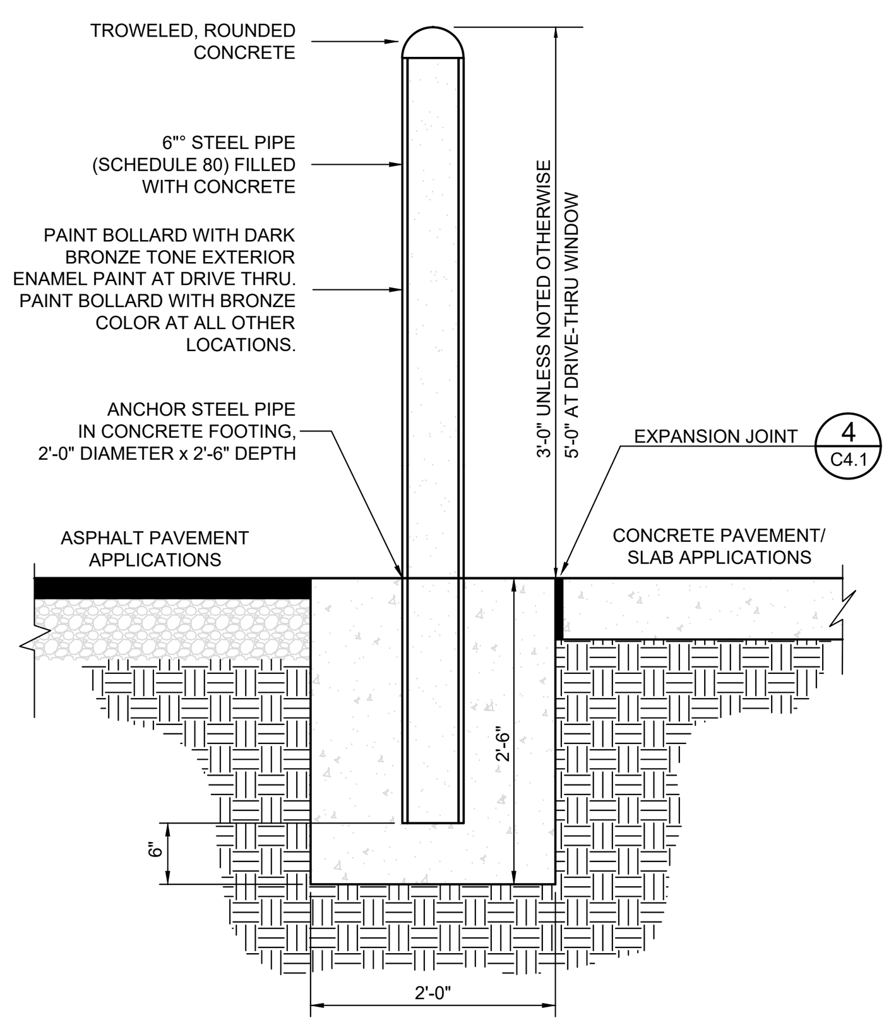
NO.	DATE	DESCRIPTION

FOR PERMIT

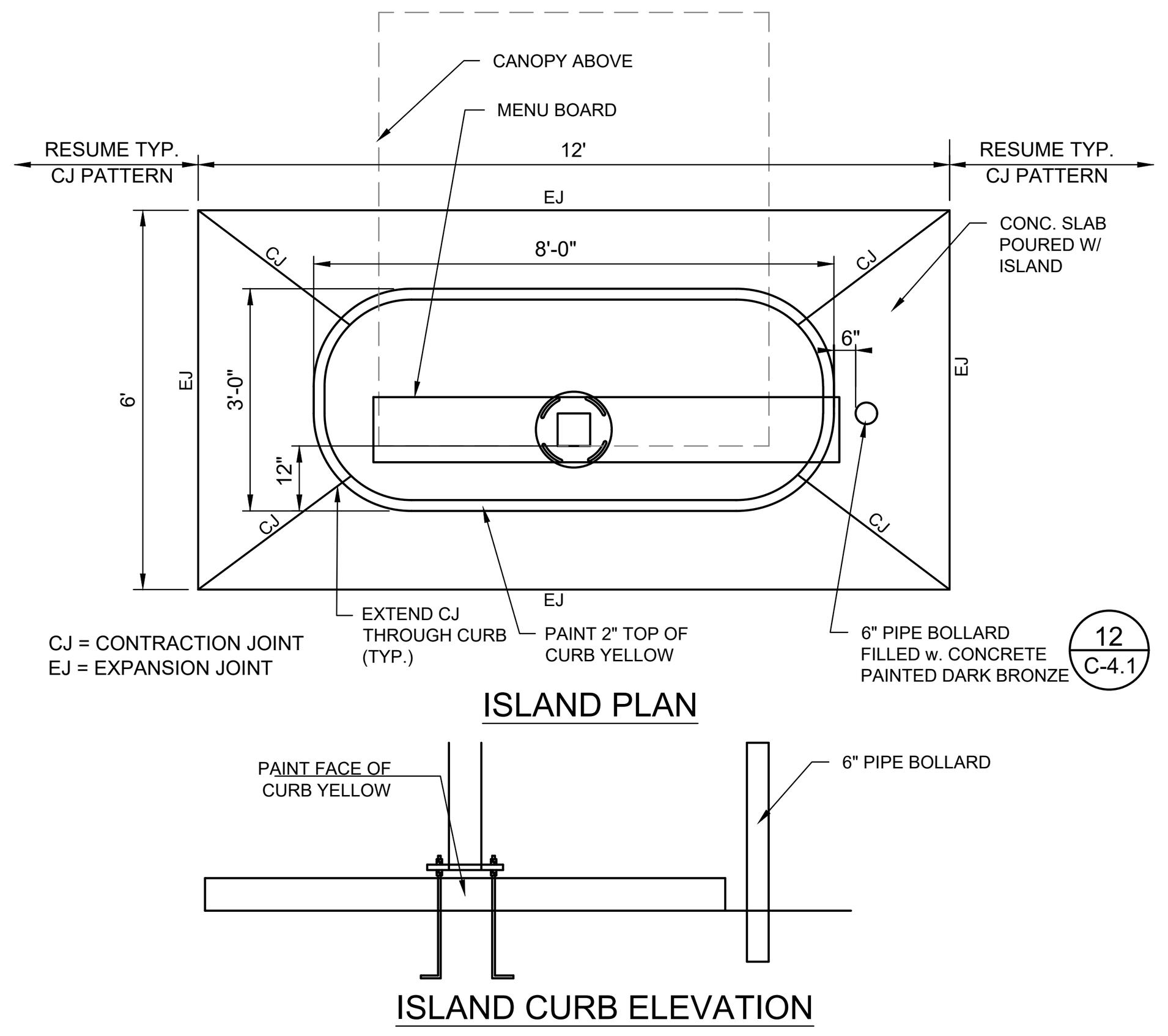
CURRENT DESIGN NOTE APPLIED	2021-005
PROJECT #	010014-01-189
PRINTED FOR	PERMIT
DATE	7/26/2023
DRAWN BY	---

SHEET
CFA DETAILS

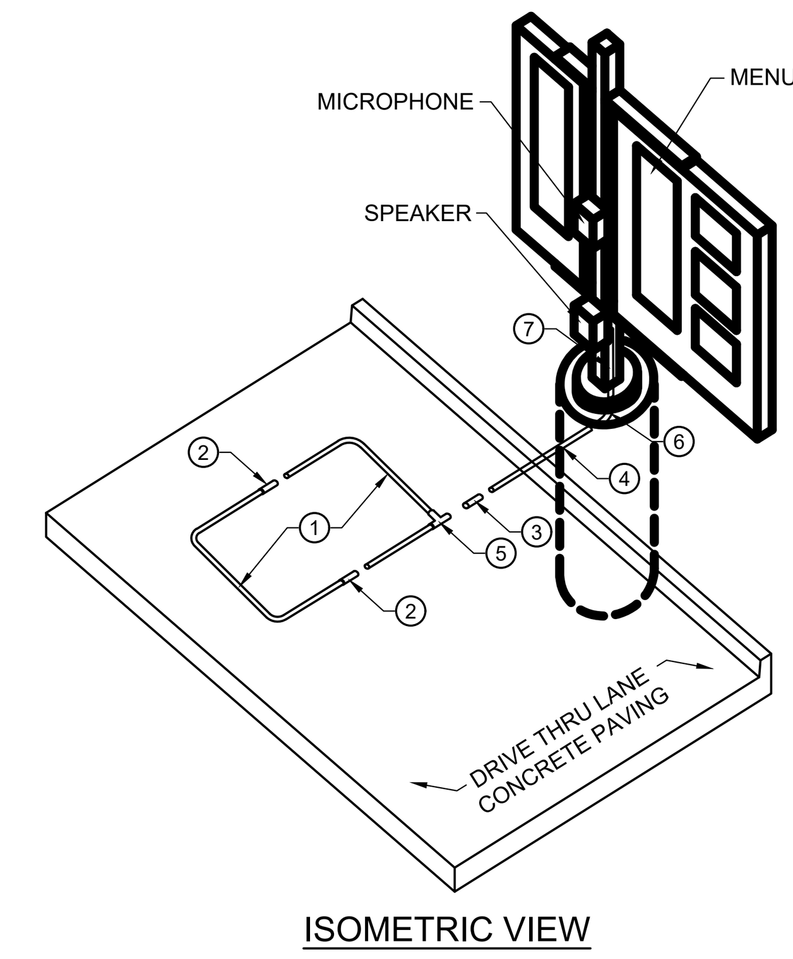
SHEET NUMBER
C-4.1



12 / C4.1 — CONCRETE BOLLARD
NOT TO SCALE



11 / C4.1 — DRIVE-THRU ORDER POINT ISLAND
NOT TO SCALE

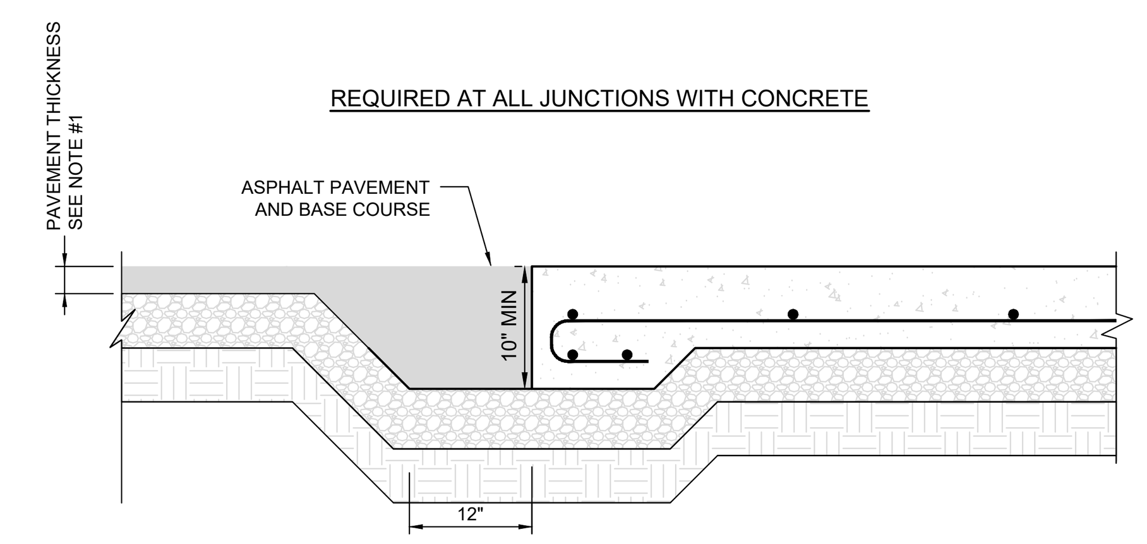


PARTS LIST

1. PREFAB (FOLDED) LOOP (1.5' x 5')
2. 1/2" PVC COUPLING
3. 1/2" PVC SLEEVE COUPLING
4. 1/2" PVC TUBING (3' LENGTH)
5. 1/2" PVC CORNER FITTING
6. 1/2" PVC 90° ELBOW
7. 1/2" PVC TUBING (2' LENGTH)

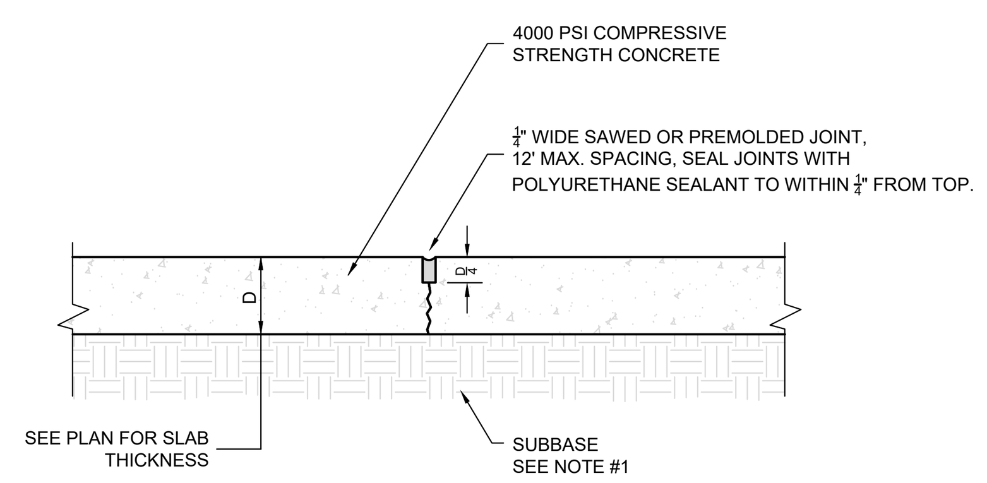
NOTES:
1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

10 / C4.1 — MENU BOARD LOOP DETECTION SYSTEM (ISO. VIEW)
NOT TO SCALE



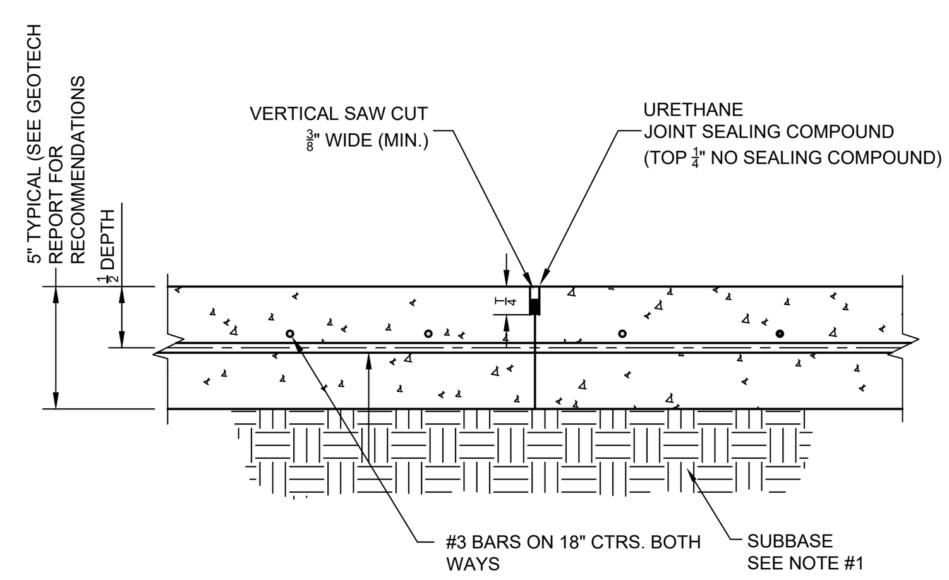
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

9 / C4.1 — PAVEMENT EDGE DETAIL
NOT TO SCALE



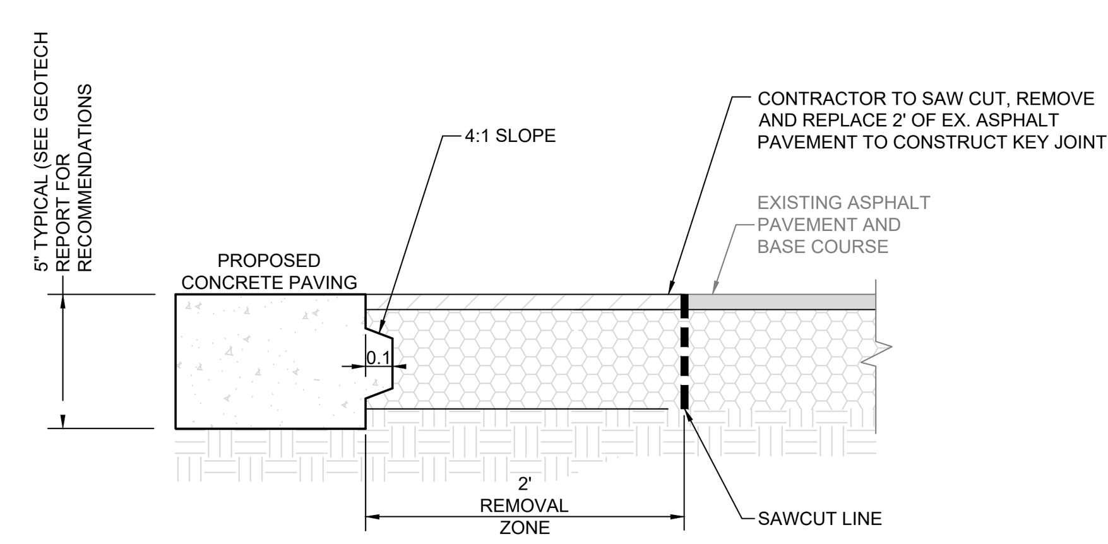
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

8 / C4.1 — TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
NOT TO SCALE

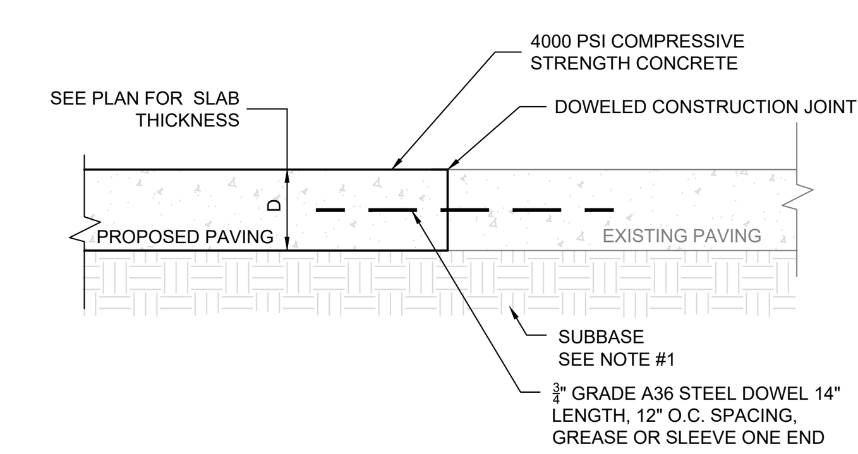


NOTES:
1. JOINT SPACING TO BE 12' x 12' WITH EVERY OTHER JOINT BEING AN EXPANSION JOINT.
2. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

7 / C4.1 — CONTRACTION JOINT
NOT TO SCALE

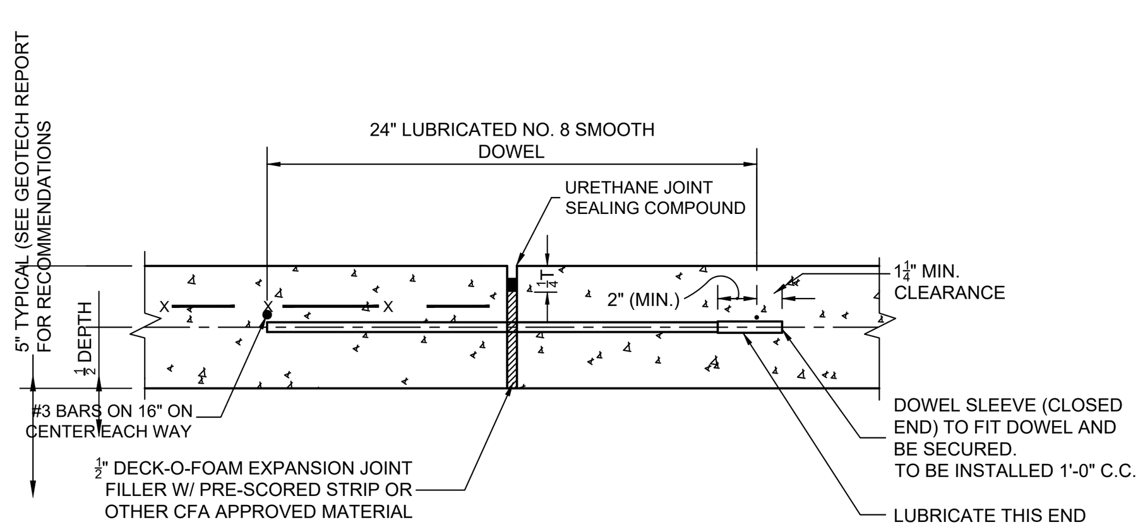


6 / C4.1 — KEYED CONSTRUCTION JOINT
NOT TO SCALE



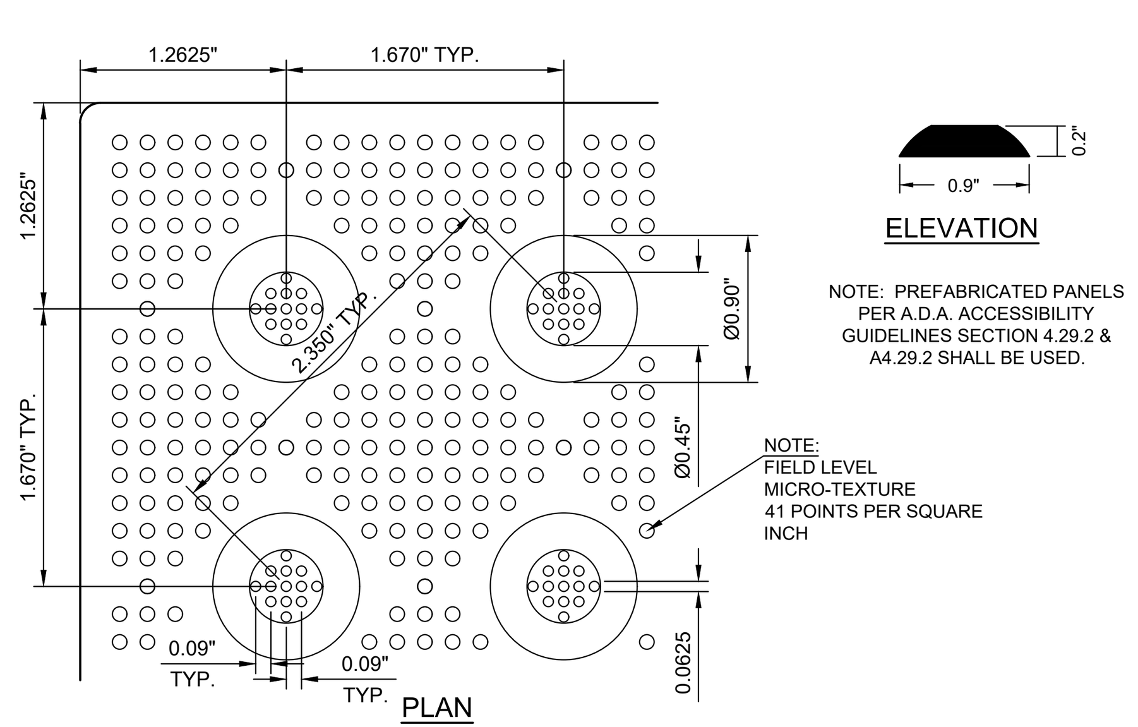
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

5 / C4.1 — TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
NOT TO SCALE



NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
4. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.
5. JOINT SPACING TO BE 24'X24' (EVERY OTHER JOINT)

EXPANSION JOINT
NOT TO SCALE

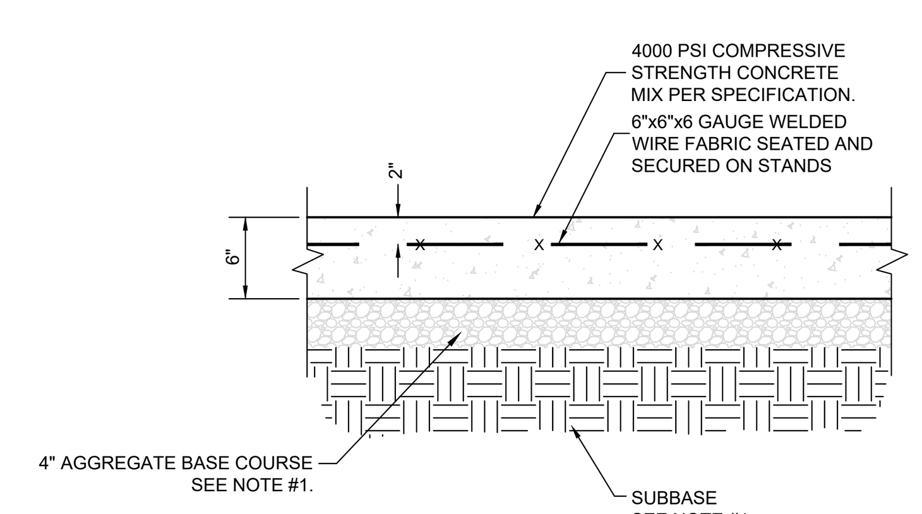


NOTE: PREFABRICATED PANELS PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & A4.29.2 SHALL BE USED.

NOTE: FIELD LEVEL MICRO-TEXTURE 41 POINTS PER SQUARE INCH

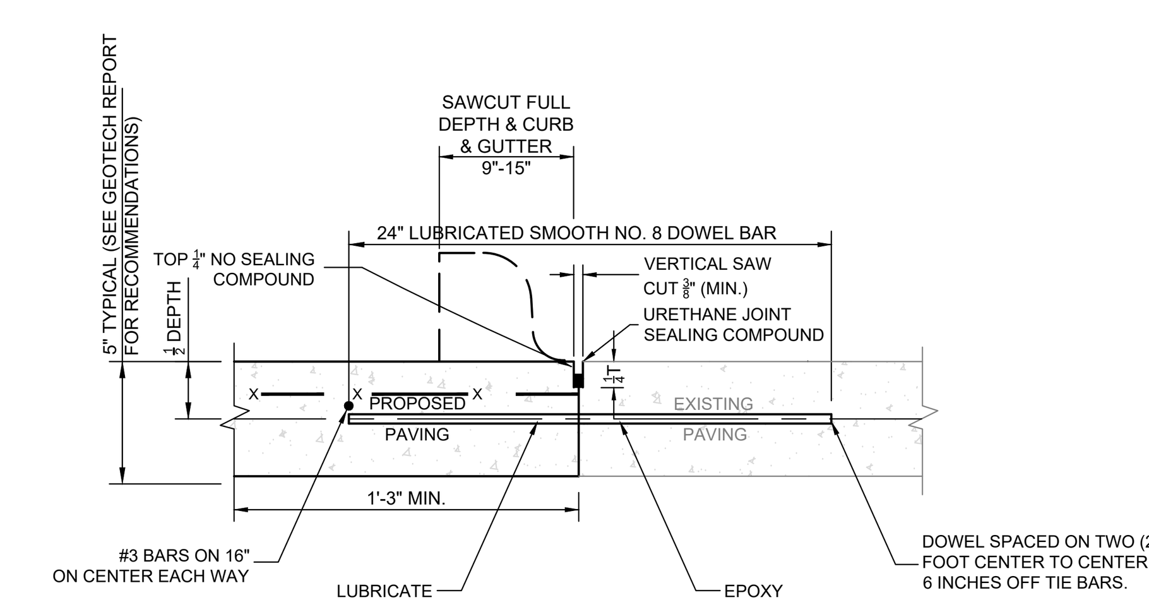
NOTES:
1. THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF CURB LINE.
2. DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE RAMP OR FLUSH SRUFACE.
3. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO PROWAG R304. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.
4. WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB & GUTTER AND/OR SIDEWALK, THE EXISTING CURB & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB & GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
5. THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT, OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BRICK RED.
6. TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TACTILE TILE. PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL(919)622-4615 UNLESS PAVERS ARE REQUIRED, CONTRACTOR TO VERIFY THAT CURB RAMPS MEET LOCAL CODES AND ADA REQUIREMENTS.

3 / C4.1 — DETECTABLE WARNING DEVICE
NOT TO SCALE



NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

2 / C4.1 — CONCRETE PAVEMENT DRIVE-THRU LANE
NOT TO SCALE



NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
3. DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.
4. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

1 / C4.1 — LONGITUDINAL BUTT JOINT
NOT TO SCALE

4 / C4.1

5200 Buffington Rd.
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LAWRENCEVILLE, NEW JERSEY 08648

FSU# 04534

REVISION SCHEDULE

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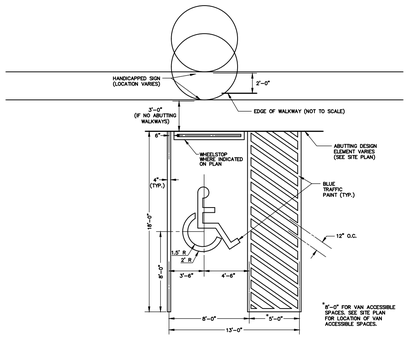
SHEET
CFA DETAILS

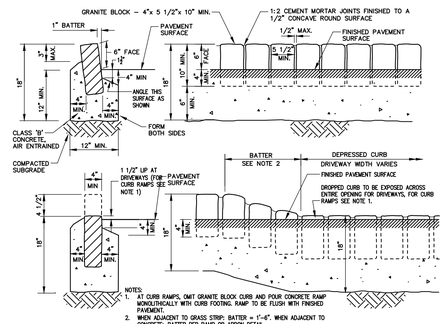
SHEET NUMBER
C-4.0

FOR PERMIT



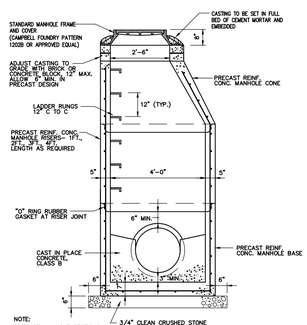
HANDICAPPED PARKING SPACE

N.T.S.



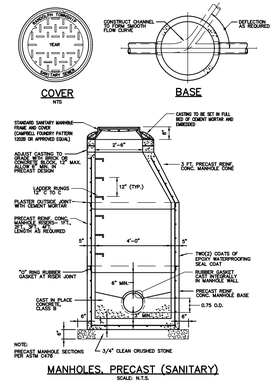
GRANITE BLOCK CURB DETAIL

N.T.S.



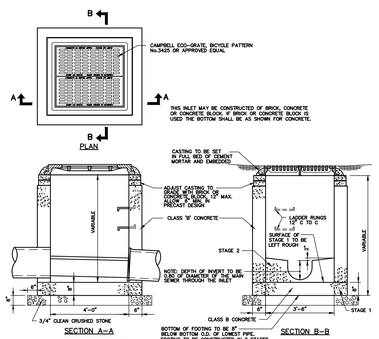
MANHOLES, PRECAST (STORM)

SCALE: N.T.S.



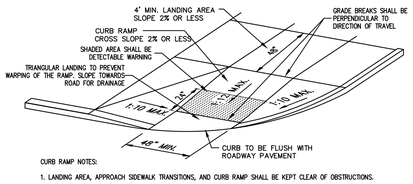
MANHOLES, PRECAST (SANITARY)

SCALE: N.T.S.



INLET TYPE "E"

N.T.S.



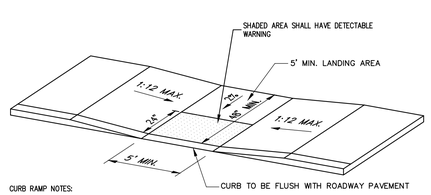
CURB RAMP NOTES:

1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
2. CURB (DROPPED CURB) CENTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4' AT ALL CURB RAMPS.
3. IF CURB IS GRANITE BLOCK, OMIT THE BLOCK WITHIN THE FLUSH AREA AND FORM WITH CONCRETE ONLY. RAMP MAY BE POURED MONOLITHICALLY WITH THE CURB
4. FOR RAMPS IN THE PUBLIC ROW, IF THE LANDING (TURNING SPACE) AT THE TOP OF THE RAMP IS CONSTRAINED (ABUTTING A BUILDING OR SIMILAR) THEN THE LANDING SHALL BE 5'
5. RAMP LENGTH IS AS REQUIRED TO NOT EXCEED MAX SLOPE, AND SHALL BE VERIFIED IN FIELD. RAMPS DRAWN IN PLAN VIEW MAY BE SCHEMATIC TO INDICATE TYPE OF RAMP AND MAY NOT INDICATE ACTUAL LENGTH

CURB RAMP DETAIL

RAMP NOT PERPENDICULAR TO CURB

N.T.S.



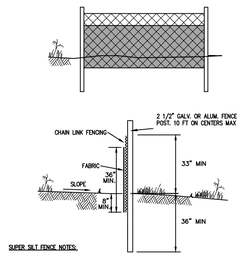
CURB RAMP NOTES:

1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
2. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 5' AT PARALLEL CURB RAMPS.
3. IF CURB IS GRANITE BLOCK, OMIT THE BLOCK WITHIN THE FLUSH AREA AND FORM WITH CONCRETE ONLY. RAMP MAY BE POURED MONOLITHICALLY WITH THE CURB
4. RAMP LENGTH IS AS REQUIRED TO NOT EXCEED MAX SLOPE, AND SHALL BE VERIFIED IN FIELD. RAMPS DRAWN IN PLAN VIEW MAY BE SCHEMATIC TO INDICATE TYPE OF RAMP AND MAY NOT INDICATE ACTUAL LENGTH
5. ALL DETECTABLE WARNING OR TRUNCATED DOME SURFACES SHALL BE EMBEDDED IN THE SIDEWALK

CURB RAMP (PARALLEL)

SIDEWALK ADJACENT TO CURB

N.T.S.

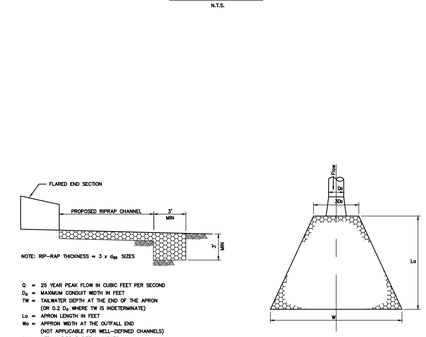


SUPER SILT FENCE NOTES:

1. SUPER SILT FENCE SHALL BE CONSTRUCTED WHERE SHOWN ON THE PLANS AND WHERE DIRECTED BY THE MUNICIPAL ENGINEER OR SOIL CONSERVATION DISTRICT.
2. SUPER SILT FENCE SHALL ALSO BE CONSTRUCTED WHENEVER MORE THAN ONE ACRE OF LAND WILL DRAIN TO THE SILT FENCE, WHENEVER THE LENGTH OF SLOPE ABOVE THE SILT FENCE EXCEEDS 100 FEET, AND WHENEVER SLOPE OF THE LAND ADJACENT TO THE UPHILL SIDE OF THE FENCE IS STEEPER THAN FIVE PERCENT WITHIN 300 FEET OF THE FENCE.
3. SUPER SILT FENCE SHALL BE CONSTRUCTED SUCH THAT WATER CANNOT BYPASS AROUND THE ENDS OF THE FENCE.
4. SUPER SILT FENCE SHALL BE INSPECTED FREQUENTLY BY THE CONTRACTOR AND REPAIRED OR REPLACED PROMPTLY AS REQUIRED.
5. SUPER SILT FENCE SHALL BE REMOVED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN STABILIZED.

SUPER SILT FENCE DETAIL

N.T.S.



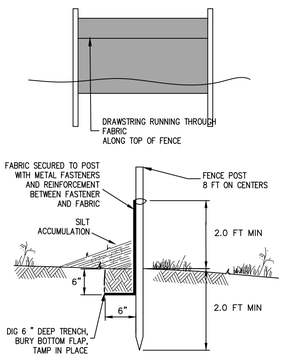
CONDUIT OUTLET PROTECTION SUMMARY						
F.E.S. No.	Q (CFS)	D_0 (FT)	TW (FT)	Lo (FT)	W_0 (FT)	D(50) (IN)
A6	15.00	2	2.60	16	13	6
D4	3.67	1.25	3.38	8	7	6
D7	1.70	1.25	3.38	4	6	6
G4	2.28	1.25	1.65	5	6	6
H6	10.89	1.5	2.15	16	12	6
H9	3.79	1.25	2.15	9	8	6
I3	1.14	1.25	1.38	3	5	6

THE WIDTH OF THE APRON AT THE CULVERT SHALL BE AT LEAST TRIPLE D_0 - WHERE THERE IS A WELL–DEFINED CHANNEL DOWNSTREAM OF THE APRON, THE APRON BOTTOM WIDTH SHALL BE AT LEAST EQUAL TO THE CHANNEL BOTTOM WIDTH THE LINING SHALL EXTEND AT LEAST ONE FOOT ABOVE THE TAILWATER ELEVATION BUT NO LOWER THAN 2/3 OF THE VERTICAL CONDUIT DIMENSION ABOVE THE CONDUIT INVERT. THE BOTTOM GRADE SHALL BE 0.0% AND LEVEL. THERE SHALL BE NO OVERFALL AT THE END OF THE APRON OR THE CULVERT.

50% BY WEIGHT OF THE RIPRAP MIX SHALL BE SMALLER THAN d_{50}. LARGEST STONE SHALL BE LESS THAN 1.5 TIMES d_{50}. APRON THICKNESS SHALL BE EITHER:
1) THREE TIMES THE d_{50} SIZE, OR
2) TWO TIMES THE d_{50} SIZE WITH A FILTER LAYER

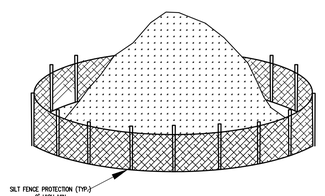
RIP RAP APRON
CONDUIT OUTLET PROTECTION DETAIL

N.T.S



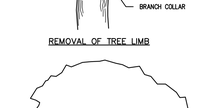
SILT FENCE DETAIL

N.T.S.



TOPSOIL STOCK PILE DETAIL

REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL



REMOVAL OF TREE LIMB

TREE PROTECTION DETAIL

REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY: 9.1

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FSU# 04534

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SHEET

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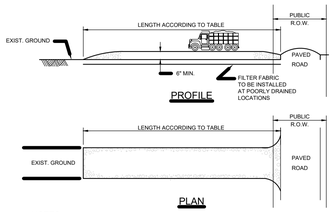


NOTES

STONE SIZE 1 1/2" - 2 1/2" CRUSHED STONE

WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.

WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.

WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 ft.	100ft.
2 TO 5%	100ft.	200ft.
>5%	ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE MIX I-2	1

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

STABILIZED CONSTRUCTION ENTRANCE

N.T.S

DUST CONTROL NOTES

STANDARD FOR DUST CONTROL (Per Standards... Dust Control 16-1, May 2012)

DEFINITION-The control of dust on construction sites and roads.

PURPOSE- To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage and health hazards, and improve traffic safety.

CONDITION WHERE PRACTICE APPLIES- This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

WATER QUALITY ENHANCEMENT-Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction Sites and subsequent blowing and deposition into local surface water resources.

PLANNING CRITERIA- The following methods should be considered for controlling dust:

Mulches-See Standards for Stabilization with mulches Only (p. 5-1)

Vegetative Cover-See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1) and Permanent Stabilization with Sod (p. 6-1)

Spray-on Adhesives-On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials:

	Water Dilution	Type of Nozzle	Gal./Acre
Anionic asphalt emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Polyacrylamide (PAM) - spray on flocculate and precipitate suspended colloids. See Sediment Basin standard (pg 26-1).	Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to		
Acidulated Soy Bean Soap Stick	None	Coarse Spray	1,200

Tillage: To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling: Site is sprinkled until the surface is wet.

Barriers: Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

Calcium Chloride: Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone: Cover surface with crushed stone or coarse gravel. for Dewatering.

TOPSOIL STOCKPILE PROTECTION

a) Apply ground limestone at a rate of 90 lbs/1000 S.F.
b) Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 S.F.
c) Apply Perennial Rye grass seed at a rate of 1 lb/1000 S.F. and Annual Rye grass at 1lb/1000 S.F.
d) Mulch stockpile with straw or hay at a rate of 90 lbs/1000 S.F.
e) Apply a liquid mulch binder or tack to straw or hay mulch.
f) Properly entrench a silt fence at the bottom of the stockpile.

TEMPORARY STABILIZATION SPECIFICATIONS

a) Apply ground limestone, lime rates are to be applied following soil test recommendations.
b) Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 S.F.
c) Apply Perennial Rye grass at 1 Lb/1000 S.F.and Annual Rye grass at 1 Lb/1000 S.F.
d) Mulch stockpile with straw or hay at a rate of 90 lbs/1000 S.F.
e) Apply a liquid mulch binder or tack to straw or hay mulch.

PERMANENT STABILIZATION SPECIFICATIONS

a) Apply topsoil to a depth of 5 inches (unsettled).
b) Apply ground limestone, lime rates are to be applied following soil test recommendations, and work four inches into soil.
c) Apply fertilizer (10-10-10) at a rate of 11 lbs/1000 S.F.
d) Permanent seeding to be accomplished wit the following mixture:
   - Hard Fescue seed at 3.0 lbs/1000 S.F.
   - Chewing Fescue 1.0 lbs/1000 S.F.
   - Creeping Red Fescue seed at 1.0 lbs/1000 S.F.
   - Perennial Ryegrass seed at 0.25 lbs/1000 S.F.
d) Detention Basin seeding to be accomplished wit the following mixture:
   - Deertongue seed at 0.45 lbs/1000 S.F.
   - Red Top seed at 0.05 lbs/1000 S.F.
   - Wild Rye seed at 0.35 lbs/1000 S.F.
   - Switch Grass seed at 0.60 lbs/1000 S.F.
e) Acceptable seeding dates are between March 1 and April 30, Optimum seeding dates are between August 15 and October 15.
f) Mulch stockpile with straw or hay at a rate of 90 lbs/1000 S.F.
g) Apply a liquid mulch binder or tack to straw or hay mulch

STABILIZATION WITH MULCH ONLY (NON-GROWING SEASON)

1. Grade area to be stabilized in accordance with Standards for Land Grading, pg. 19-1.
2. Uniformly spread unrotted small-grain straw or salt hay at 2.0 to 2.5 tons per acre (90 to 115 pounds per 1000 square feet) and anchor with a mulch anchoring tool, liquid mulch binders or netting tie down. Other protective materials may be used in accordance with NJ Standards, pg. 5-1
3. Mulch anchoring shall be applied immediately after placement of hay or straw mulch to minimize loss by wind or water. Applications shall be heavier at the edges where wind catches the mulch (e.g. in valleys and at crests of banks). Liquid mulch binder shall be one of the following:
   a. Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials that when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phyto-toxic effect or impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
   b. Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until the germination of grass.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.

2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.

3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.

4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

A. Probing Wire Test (see detail)
B. Hand-held Penetrometer Test (see detail)
C. Tube Bulk Density Test (licensed professional engineer required
D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

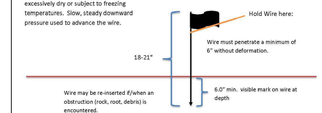
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Simplified Testing Methods

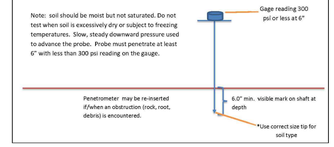
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be molist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gauge.



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